



Ann M. Hess, Esq.

Lancaster Recorder of Deeds
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Recording Fee	\$9.50
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County Improvement	\$2.00
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Affordable Housing	\$0.00
Local RTT Tax	\$0.00
State RTT Tax	\$0.00

Total:	\$35.00

Local RTT Tax Breakout:

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Rec Date: 06/18/2025 09:18:34 AM

Num Pages: 12

Document Type: SUBDIVISION PLANS/LAND DEVELOPMENT PLANS

Rec'd From: BITNER ENGINEERING, LLC

****NOTICE: This is not a Bill.****

I hereby CERTIFY that this document is recorded in the Recorder of Deeds Office of Lancaster County, Pennsylvania.

Record and Return To:
BITNER ENGINEERING, LLC
711 SPEEDWELL FORGE RD
LITITZ, PA 17543-7201



Ann M. Hess
Ann M. Hess, Esq.

**Information may change during the verification process and may not be reflected on this page.

NOTE: If document data differs from cover sheet, document data always controls.

**COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT AFTER RECORDING FOR ADDITIONAL INFORMATION.

Return to: Bitner Engineering, LLC
711 Speedwell Forge Road
Lititz, PA 17543

District #: 410

Re: LCPC File #: 89-390-1B

The plan identified below was reviewed by the Lancaster County Planning Commission on 10/07/2024.

IMPORTANT NOTE: According to County records, the subject property for which application has been made by enrolled in the Act 319 **(Clean and Green)** preferential assessment program. Any questions about how this may affect the proposed plan should be directed to the Lancaster County Assessment Office by calling (717) 299-8381.

Plan Name: Diehl Property

Municipality: Manor Township

Property Owner(s): Jeffery P. Kay L. Diehl



This plan was reviewed by the Lancaster County Planning Commission (LCPC) in accordance with the Pennsylvania Municipalities Planning Code. The LCPC's advisory comments for this plan do not in any way connote a statutory approval or disapproval of the plan.

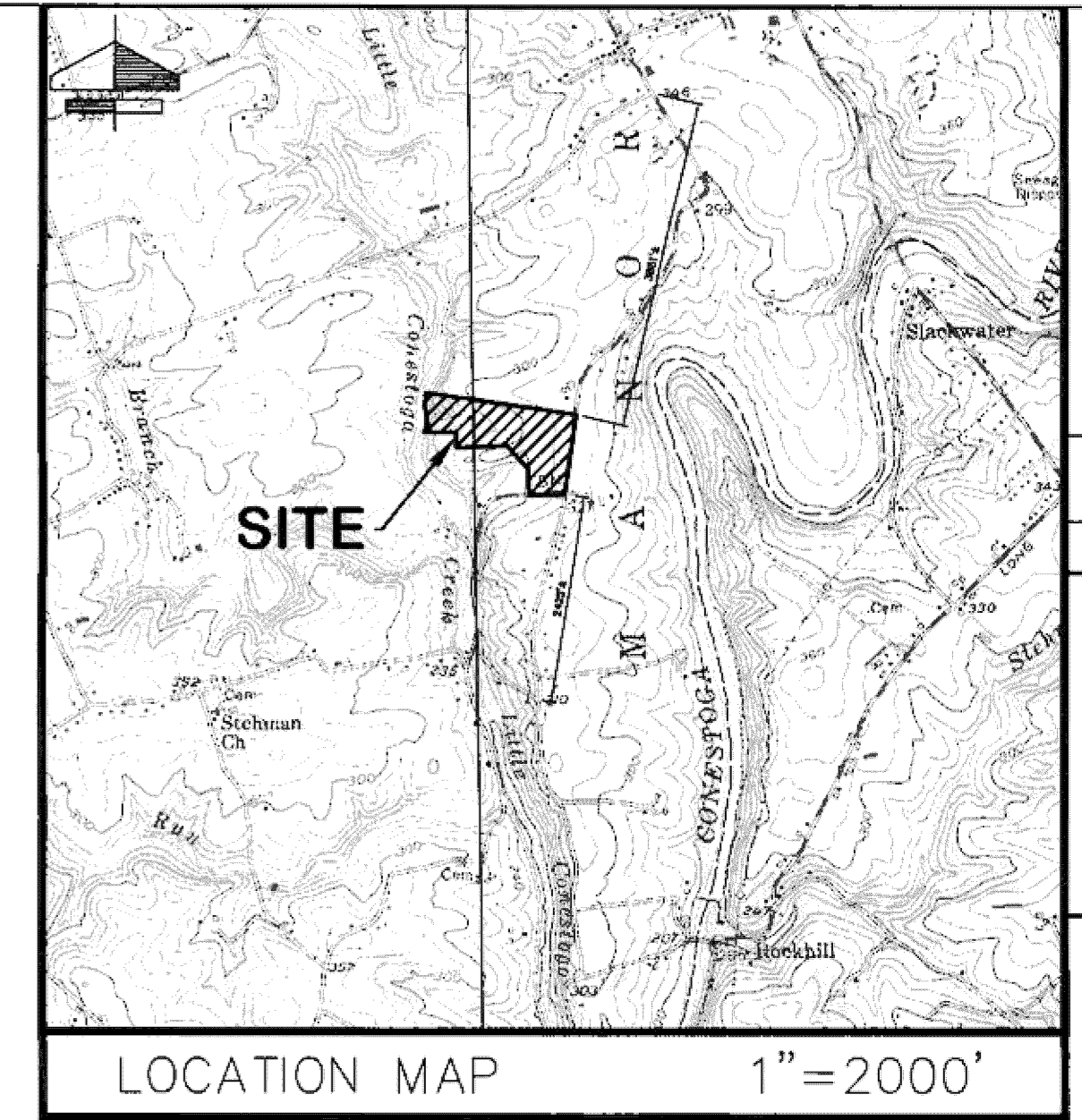
A handwritten signature in cursive script, appearing to read "John S. Hershey".

John Hershey, RLA, Director for Analytics & Design
Lancaster County Planning Department

FINAL MINOR SUBDIVISION AND SWM PLAN

FOR THE DIEHL PROPERTY

MANOR TOWNSHIP, LANCASTER COUNTY, PA



LOCATION MAP 1" = 2000'

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* ALL PLAN SHEETS ARE TO BE RECORDED.

APPROVED MODIFICATIONS:
THE FOLLOWING MODIFICATIONS TO THE MANOR TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE WERE APPROVED:

SECTION 388-19.A - HORIZONTAL SCALE
ACTION: APPROVED

SECTION 388-42.G.1.B - ADDITIONAL RIGHT-OF-WAY
ACTION: APPROVED

SECTION 388-49.G - RIPARIAN BUFFER
ACTION: APPROVED

STORMWATER NOTES:

- THE OWNER/BUILDER OF THE DWELLING ON LOT 2 SHALL VERIFY WITH THE TOWNSHIP THAT THE STORMWATER MANAGEMENT SHOWN ON THIS PLAN IS ADEQUATE BASED ON THE TYPE OF DWELLING AND ITS PROPOSED LOCATION ON THE LOT PRIOR TO CONSTRUCTION.
- PRIOR TO INSTALLING A DWELLING ON LOT 2, FINANCIAL SECURITY AND AN OPERATION AND MAINTENANCE AGREEMENT MUST BE PROVIDED TO THE TOWNSHIP.
- THE PROPERTY OWNER WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES.
- ALL STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND TO THE STANDARDS OF THE MUNICIPAL ORDINANCES.
- WATERTIGHT JOINTS SHALL BE PROVIDED WHERE PIPE SECTIONS ARE JOINED TO OTHER PIPE SECTIONS AND TO STORMWATER STRUCTURES.
- NO CORNER ENTRY OF STORM PIPE IS PERMITTED TO ANY CONNECTIONS WITH ANY TYPE OF STORMWATER INLET.
- NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE OR ALTER SWM FACILITIES AND/OR BMP FACILITIES WHICH MAY HAVE BEEN INSTALLED ON A PROPERTY UNLESS A STORMWATER MANAGEMENT PERMIT HAS BEEN OBTAINED TO PERMIT SUCH MODIFICATION, REMOVAL, FILLING, LANDSCAPING OR ALTERATION. NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING OR VEGETATION INTO A SWM FACILITY, A BMP OR WITHIN DRAINAGE EASEMENTS.
- NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF THE EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF AN EASEMENT.
- ALL ROOF AREA RUNOFF FROM THE PROPOSED BUILDING IS TO BE COLLECTED AND DISCHARGED VIA DOWNSPOUT TO THE INFILTRATION FACILITIES. NO DOWNSPOUT IS TO DISCHARGE RUNOFF TO ANY LOCATION OTHER THAN ONE OF THE INFILTRATION FACILITIES.
- AN AS-BUILT PLAN MEETING ALL OF THE REQUIREMENTS OF SECTION 373-14 OF THE MANOR TOWNSHIP STORMWATER MANAGEMENT ORDINANCE MUST BE SUBMITTED PRIOR TO FINAL APPROVAL OF THE INSTALLED IMPROVEMENTS, ALONG WITH THE REQUIRED AS-BUILT, STORMWATER FACILITY ROUTINGS AND POST-CONSTRUCTION INFILTRATION TESTING TAHT COMPARE THE AS-BUILT OUTFLOWS AND INFILTRATION RATES TO THE DESIGN OUTFLOWS AND INFILTRATION RATES. MUST BE PROVIDED PRIOR TO FINAL RELEASE OF THE FINANCIAL SECURITY FOR ALL STORMWATER MANAGEMENT AND CONVEYANCE FACILITIES.
- THE STORMWATER MANAGEMENT FACILITIES ARE DESIGNED FOR THE BELOW IMPERVIOUS AREAS:

TOTAL IMPERVIOUS AREA MANAGED BY SWM-1	4,000 SF
TOTAL IMPERVIOUS AREA ALLOWED TO BE UNMAINTAINED	2,000 SF

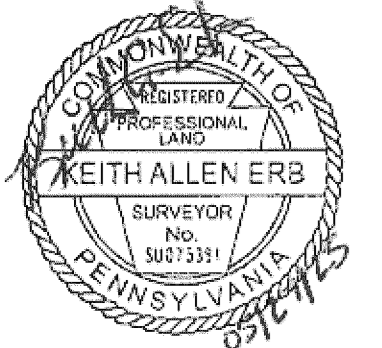
MANOR TOWNSHIP ENGINEER COMMENTS	DATE
3 4/20/25 PER PA REP COMMENTS	
7 4/7/25 PER TOWNSHIP ENGINEER COMMENTS	
1 2/14/25 PER TOWNSHIP ENGINEER COMMENTS	
NO	DATE

MANAGER: DAVID W. BITNER, PE	CLIENT: JEFFREY P. & KAY L. DIEHL
DESIGN BY: DWB	456 WALNUT HILL RD.
DRAWN BY: JDS	MILLERSVILLE, PA 17551
SURV. CHIEF: WEBER SVCS.	SCALE: AS NOTED
DATE: 8/12/2024	

Bitner Engineering
711 Speedwell Forge Rd • Lititz, PA 17543
717.368.1169 • dave@bitnrengineering.com

TITLE: FINAL MINOR SUBDIVISION AND SWM PLAN FOR DIEHL PROPERTY COVER SHEET
MANOR TOWNSHIP, LANCASTER COUNTY, PA

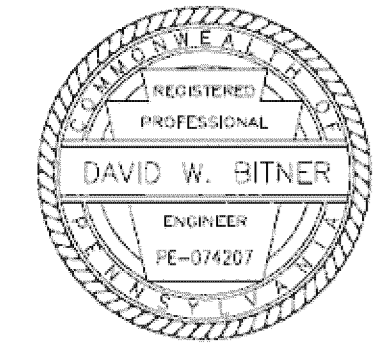
SHEET NO. 1 OF 10
JOB NO. 2024162-001



CERTIFICATION OF PLAN ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE MANOR TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

May 27, 2025



CERTIFICATION OF SURVEY ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE MANOR TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

May 28, 2025

MANOR TOWNSHIP ENGINEER REVIEW CERTIFICATE

REVIEWED BY THE MANOR TOWNSHIP ENGINEER THIS 5 DAY OF June 2025

Signature of the Manor Township Engineer

MANOR TOWNSHIP BOARD OF SUPERVISORS FINAL PLAN APPROVAL CERTIFICATE

AT A MEETING ON April 7, 2025, THE MANOR TOWNSHIP BOARD OF SUPERVISORS GRANTED FINAL PLAN APPROVAL OF THIS PROJECT, INCLUDING THE COMPLETE SET OF PLANS MARKED SHEET(S) THROUGH 1-10 WHICH FORM A PART OF THE APPLICATION DATED 8/12/24, LAST REVISED 4/20/25, AND BEARING MANOR TOWNSHIP FILE NO. 24-007

Signature of the Chairman or Vice Chairman or their designee.

MANOR TOWNSHIP PLANNING COMMISSION REVIEW CERTIFICATE

AT A MEETING HELD ON March 12, 2025, THE MANOR TOWNSHIP PLANNING COMMISSION REVIEWED THIS PLAN AND A COPY OF THE REVIEW COMMENTS IS ON FILE IN THE TOWNSHIP OFFICE.

Signature of the Chairman or Vice Chairman or their designee.

LANCASTER COUNTY PLANNING DEPARTMENT'S REVIEW CERTIFICATE

THIS PLAN, BEARING LCPC FILE NO. 89-390-1B, WAS REVIEWED BY STAFF OF THE LANCASTER COUNTY PLANNING DEPARTMENT ON 10/7/2024, AS REQUIRED BY THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247, OF 1968, AS AMENDED. THIS CERTIFICATE DOES NOT REPRESENT NOR GUARANTEE THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS, OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH, OR THE FEDERAL GOVERNMENT.

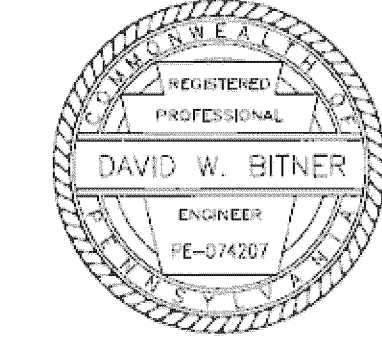
*SIGNATURE OF THE CHAIRPERSON OR THEIR DESIGNEE

STORM DRAINAGE PLAN CERTIFICATION

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE STORM DRAINAGE FACILITIES SHOWN AND DESCRIBED HEREON ARE DESIGNED IN CONFORMANCE WITH THE MANOR TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

May 28, 2025

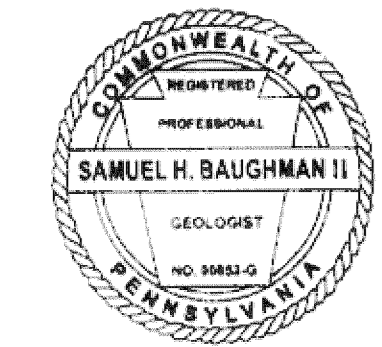
*SIGNATURE AND SEAL OF A PROFESSIONAL REGISTERED IN THE COMMONWEALTH OF PENNSYLVANIA QUALIFIED TO PERFORM SUCH DUTIES AND RESPONSIBLE FOR THE PREPARATION OF THE STORM DRAINAGE PLAN.



CARBONATE GEOLOGY CERTIFICATION

I, Samuel H. Baughman II, CERTIFY THAT THE PROPOSED STORMWATER FACILITIES ARE UNDERLAIN BY CARBONATE GEOLOGY.

May 28, 2025



OWNER

JEFFREY P. & KAY L. DIEHL
456 WALNUT HILL RD.
MILLERSVILLE, PA 17551

SITE ADDRESS

456 WALNUT HILL RD.
MILLERSVILLE, PA 17551

SOURCE OF TITLE

EXISTING LOT 1
ACCT. NO: 410-26995-0-0000
DEED REF: 6418052
RECORD PLAN 2017-0070-J
GROSS AREA: 25.473 ACRES
NET AREA: 25.000 ACRES

LANCASTER COUNTY CODE

DISTRICT: 410

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN, AND OFFER OF DEDICATION (INDIVIDUAL)

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF LANCASTER

ON THIS, THE 30 DAY OF MAY, 2025, BEFORE ME, THE UNDERSIGNED PERSONALLY APPEARED, JEFFREY P. DIEHL AND KAY L. DIEHL, WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT THEIR DIRECTION, THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN, THAT THEY DESIRE THE SAME TO BE RECORDED, AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

Signature of Landowner: Jeffrey P. Diehl
Signature of Landowner: Kay L. Diehl
Signature of Notary Public: Adrienne Kautz, Notary Public, Lancaster County, My Commission expires November 22, 2025, Commission number 1302683, Member, Pennsylvania Association of Notaries

Signature and Seal of Notary Public or Other Officer Authorized to Acknowledge Deeds
MY COMMISSION EXPIRES November 22, 2025

"CLEAN AND GREEN" NOTE:

NOTICE: ACCORDING TO COUNTY RECORDS, THE SUBJECT PROPERTY IS SUBJECT TO THE PENNSYLVANIA FARMLAND AND FOREST LAND ASSESSMENT ACT OF 1974 (A.K.A THE CLEAN AND GREEN ACT), ACT 319 OF 1974, P.L. 973; 72 P.S. 5490.1, AS AMENDED, AND AS FURTHER AMENDED BY ACT 156 OF 1998, AS AMENDED. THESE ACTS PROVIDE FOR PREFERENTIAL PROPERTY TAX ASSESSMENT AND TREATMENT. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO BE AWARE OF THE LAWS, RULES AND REGULATIONS APPLICABLE TO HIS OR HER PROPERTY, INCLUDING THE PROVISION THAT: (A) PREFERENTIAL PROPERTY TAX ASSESSMENT AND TREATMENT WILL REMAIN IN EFFECT CONTINUOUSLY UNTIL THE LAND OWNER CHANGES THE AGRICULTURAL USE FROM THE APPROVED CATEGORY, OR IF A TRANSFER, SPLIT-OFF OR SEPARATION OF THE SUBJECT LAND OCCURS; (B) IF A CHANGE IN USE OCCURS, OR IF CONVEYANCE, TRANSFER, SEPARATION, SPLIT-OFF OR SUBDIVISION OF THE SUBJECT LAND OCCURS, THE PROPERTY OWNER WILL BE RESPONSIBLE FOR NOTIFYING THE COUNTY ASSESSOR WITHIN 30-DAYS; (C) THE PAYMENT OF ROLLBACK TAX, PLUS INTEREST, FOR THE PERIOD OF ENROLLMENT, OR A PERIOD NOT TO EXCEED 7-YEARS, WHICHEVER IS LESS, MAY BE REQUIRED; (D) IF THE PROPERTY OWNER FAILS TO NOTIFY THE COUNTY ASSESSOR WITHIN THE 30-DAY PERIOD, PRIOR TO THE LAND CONVEYANCE, THE PROPERTY OWNER MAY BE SUBJECT TO A \$100.00 CIVIL PENALTY; (E) IF THE PROPERTY OWNER FAILS TO PAY THE ROLL-BACK TAX, A MUNICIPAL COULD BE PLACED ON THE PROPERTY UNDER EXISTING DELINQUENT TAX LAW.

AGRICULTURAL NUISANCE DISCLAIMER:

ALL LANDS WITHIN THE AGRICULTURAL DISTRICT ARE LOCATED WITHIN AN AREA WHERE LAND IS USED FOR COMMERCIAL AGRICULTURAL PRODUCTION. OWNERS, RESIDENTS, AND OTHER USERS OF THIS PROPERTY MAY BE SUBJECT TO INCONVENIENCE, DISCOMFORT, AND THE POSSIBILITY OF INJURY TO PROPERTY AND HEALTH ARISING FROM NORMAL AND ACCEPTED AGRICULTURAL PRACTICES AND OPERATIONS, INCLUDING BUT NOT LIMITED TO, NOISE, ODORS, DUST, THE OPERATION OF MACHINERY OF ANY KIND, INCLUDING AIRCRAFT, THE STORAGE AND DISPOSAL OF MANURE, THE APPLICATION OF FERTILIZERS, SOIL AMENDMENTS, HERBICIDES, AND PESTICIDES. OWNERS, OCCUPANTS, AND USERS OF THIS PROPERTY SHOULD BE PREPARED TO ACCEPT SUCH INCONVENIENCES, DISCOMFORT, AND POSSIBILITY OF INJURY FROM NORMAL AGRICULTURAL OPERATIONS, AND ARE HEREBY PUT ON OFFICIAL NOTICE THAT SECTION 4 OF PENNSYLVANIA ACT 133 OF 1982 "THE RIGHT TO FARM LAW" MAY BAR THEM FROM OBTAINING A LEGAL JUDGMENT AGAINST SUCH NORMAL AGRICULTURAL OPERATIONS.

ZONING/SITE DATA

ZONING DISTRICT: (A) - AGRICULTURAL DISTRICT
EXISTING USE: SINGLE FAMILY DETACHED DWELLING / AGRICULTURAL
PROPOSED USE: SINGLE FAMILY DETACHED DWELLING / AGRICULTURAL
WATER: -ON LOT WELL
SEWER: -ON LOT

SINGLE FAMILY MINIMUM LOT AREA

FOR SINGLE FAMILY DWELLING THE LOT AREA SHALL BE A MINIMUM SUFFICIENT TO MEET THE REQUIREMENTS OF PADEP FOR WATER SUPPLY AND WASTEWATER DISPOSAL, AS WELL AS SETBACK, LOT COVERAGE AND OTHER DIMENSIONAL REQUIREMENTS AND A MAXIMUM OF (2) ACRES.

MINIMUM LOT WIDTH AT FRONT YARD SETBACK: 150'
MAXIMUM LOT COVERAGE: 30% OR 15,000 SF. (WHICHEVER IS LESS).
MAXIMUM PERMITTED HEIGHT: 35'
MINIMUM FRONT YARD SETBACK FROM ROW LINE: 35'
MINIMUM SIDE YARD SETBACK: 15' EACH SIDE
MINIMUM REAR YARD SETBACK: 35'

AGRICULTURAL USE

MINIMUM LOT AREA: 10 ACRES
MINIMUM LOT WIDTH AT FRONT YARD SETBACK: 200'
MAXIMUM LOT COVERAGE: 10%
MAXIMUM PERMITTED HEIGHT: 150 FEET, PROVIDED ALL STRUCTURES ARE SET BACK A DISTANCE AT LEAST EQUAL TO THEIR HEIGHT FROM ALL PROPERTY LINES.

MINIMUM FRONT YARD SETBACK FROM ROW LINE: 50'
MINIMUM SIDE YARD SETBACK: 50' EACH SIDE
MINIMUM REAR YARD SETBACK: 50'

RESIDENTIAL ACCESSORY STRUCTURES

MAXIMUM PERMITTED HEIGHT: 30'
MINIMUM FRONT YARD SETBACK: NO ACCESSORY USE (EXCEPT ROADSIDE STANDS AND PERMITTED SIGNS) SHALL BE LOCATED WITHIN THE MINIMUM REQUIRED FRONT YARD.
MINIMUM SIDE YARD SETBACK: 5' EACH SIDE
MINIMUM REAR YARD SETBACK: 5'

PROPOSED LOT AREAS

	GROSS AREA	NET AREA
LOT 1 (REMAINING LANDS)	23.371 AC.	23.000 AC.
LOT 2	2.102 AC.	2.000 AC.

DENSITY: 2 UNITS/25 AC. = 0.08 UNITS PER AC.

GENERAL NOTES:

- THIS PROPERTY LIES WITHIN A 100 YEAR FLOODPLAIN AS DEPICTED ON FEMA FLOOD INSURANCE RATE MAP NO. 42071C0482F, EFFECTIVE DATE APRIL 5, 2016. FLOOD PLAIN LINES SHOWN ARE APPROXIMATE AND ARE DEPICTED AS PER SHAPE FILES PROVIDED BY FEMA.
- THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE EXISTING LOT 1 OF SUB. PLAN: 2017-0070-J, INTO TWO LOTS, (LOT 1 AND LOT 2).
- REVISED DEEDS FOR THE SUBJECT PROPERTIES SHALL BE PREPARED AND RECORDED FOR THE NEW LOT CONFIGURATIONS.
- UPON RECORDECTION OF THE FINAL PLAN, PERMANENT LOT MARKERS SHALL BE SET AT THE LOCATIONS SHOWN ON THIS PLAN.
- THE PROPOSED LOT 2 SHALL ONLY ALLOW FOR A RESIDENTIAL BUILDING ONLY, BUT ALSO REQUIRES THE FILING AND APPROVAL OF A SEPARATE STORMWATER PLAN. ANY NON-RESIDENTIAL BUILDING WILL REQUIRE THE FILING AND APPROVAL OF A LAND DEVELOPMENT & STORMWATER PLAN WITH MANOR TOWNSHIP AS IS ALSO REQUIRED BY THE TOWNSHIP'S ORDINANCES.
- THE RESULTANT LOT 1 WOULD HAVE NO REMAINING SUBDIVISION RIGHTS PER THE MANOR TOWNSHIP ZONING ORDINANCE.
- NO DEMOLITION OF STRUCTURES OR NEW SITE IMPROVEMENTS ARE PROPOSED BY THIS FINAL PLAN. IN ADDITION, A LAND DEVELOPMENT PLAN AND/OR STORM WATER MANAGEMENT PLAN MAY ALSO BE REQUIRED PRIOR TO THE CONSTRUCTION OF ADDITIONAL IMPROVEMENTS ON THE SUBJECT PROPERTIES.
- ANY CHANGES TO THIS PLAN AFTER THE DATE OF PLAN PREPARATION OR LATEST REVISION SHALL NOT BE THE RESPONSIBILITY OF BITNER ENGINEERING, LLC.
- NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN AN AREA OF AN EASEMENT OR RIGHT OF WAY THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR RIGHT OF WAY.
- THERE SHALL BE NO CHANGES OR DEVIATION FROM THESE PLANS UNLESS APPROVED BY THE ENGINEER. SUCH PLAN CHANGES, SHOULD THEY BECOME NECESSARY, ARE SUBJECT TO MUNICIPAL ORDINANCES.
- A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW," BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED. ACCESS TO THE STATE HIGHWAY SHALL ONLY BE AS AUTHORIZED BY A HIGHWAY OCCUPANCY PERMIT, AND THE GOVERNING BODY'S APPROVAL OF THIS PLAN IN NOT WAY IMPLIES THAT SUCH A PERMIT CAN BE ACQUIRED.
- ANY IMPROVEMENT THAT ENCRUSHS UPON AN ELECTRIC TRANSMISSION LINE, TELECOMMUNICATIONS LINE, GAS PIPELINE, PETROLEUM OR PETROLEUM PRODUCTS TRANSMISSION LINE, FIBER OPTICS, PUBLIC SEWER, PUBLIC WATER, ETC. LOCATED WITHIN THE TRACT, THE APPLICATION SHALL BE ACCOMPANIED BY A LETTER FROM THE OWNER OR LESSEE OF SUCH RIGHT-OF-WAY STATING ANY CONDITIONS ON THE USE OF THE LAND, THE MINIMUM BUILDING SETBACK AND/OR RIGHT-OF-WAY LINES, AND THE CENTERLINE OF SUCH LINE.
- DRAINAGE EASEMENTS SHALL BE PROVIDED WHERE THE CONVEYANCE, TREATMENT, OR STORAGE OF STORMWATER, EITHER EXISTING OR PROPOSED, IS IDENTIFIED ON THE SWM SITE PLAN. DRAINAGE EASEMENTS SHALL BE PROVIDED TO CONTAIN AND CONVEY THE 100-YEAR FREQUENCY FLOOD.
- NO PERMANENT OBSTRUCTIONS AND/OR PLANT MATERIALS OVER THREE FEET HIGH SHALL BE PLACED WITHIN THE CLEAR SITE TRIANGLE.
- ON A SEPARATE NONFARM PARCEL, NO SHRUB OR TREE IS PERMITTED TO BE PLACED WITHIN 20 AND 30 FEET, RESPECTIVELY, OF ANY LAND USED FOR AGRICULTURAL PURPOSES.

TOWNSHIP NOTES:

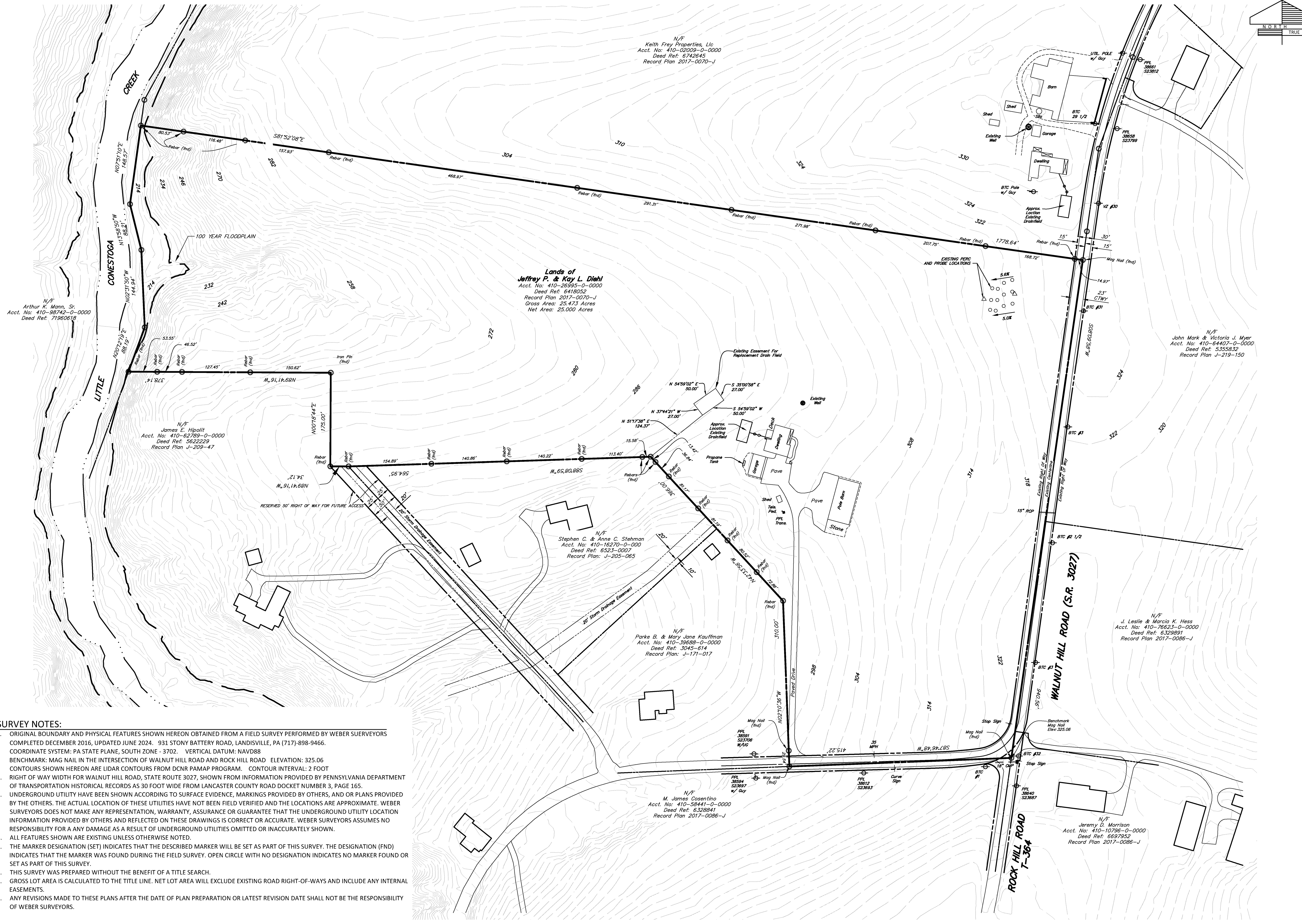
- THERE ARE NO AREAS ON THIS PLAN WHICH ARE OFFERED FOR DEDICATION TO MANOR TOWNSHIP. MANOR TOWNSHIP IS NOT RESPONSIBLE FOR CONSTRUCTION OR MAINTENANCE OF ANY AREA NOT DEDICATED FOR PUBLIC USE.
- THE MUNICIPALITY SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OR MAINTENANCE OF ANY AREA NOT DEDICATED FOR THE PUBLIC USE.

SANITARY SEWER NOTES:

- NO IMPROVEMENTS SHALL BE CONSTRUCTED UPON THE SEWAGE REPLACEMENT LOCATION EASEMENT, AND THE DEED TO EACH LOT CREATED AS A PART OF THE SUBDIVISION SHALL CONTAIN LANGUAGE REFLECTING THIS LIMITATION.
- ANY REVISION TO A PERMIT OR PLAN AFFECTING THE REPLACEMENT LOCATION THAT PREVIOUSLY HAS BEEN APPROVED PURSUANT TO THE PROVISIONS OF THIS CHAPTER SHALL BE APPROVED BY THE TOWNSHIP OR ITS AUTHORIZED AGENTS.

GROUNDWATER EASEMENT NOTES (SEE SHEET 3 FOR EASEMENT LOCATION):

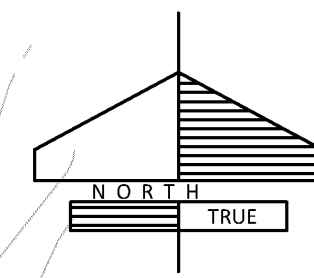
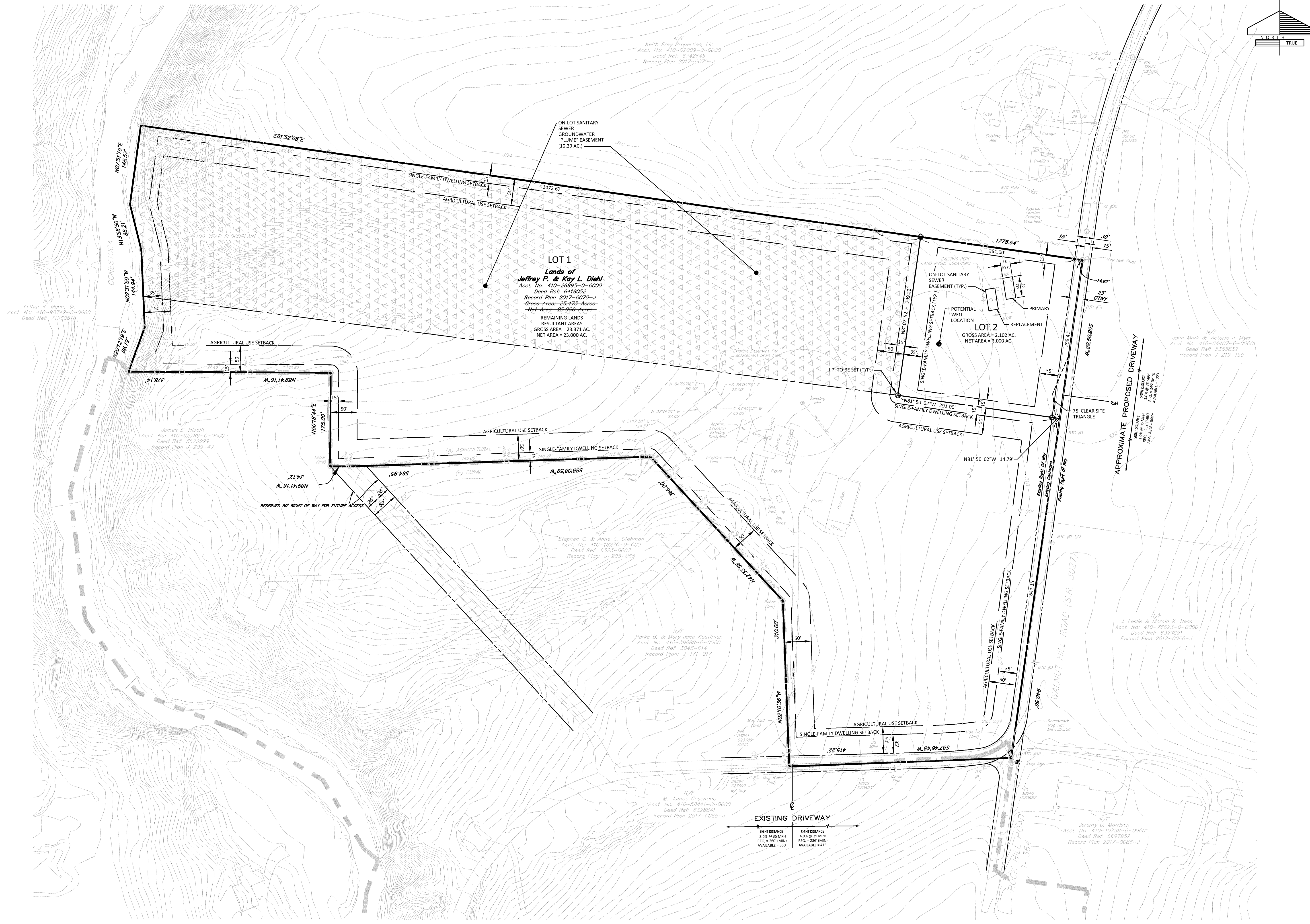
- THE FOLLOWING LANGUAGE SHALL ALSO BE PROVIDED IN THE DEEDS FOR BOTH LOTS 1 AND 2):
- THE EASEMENT IS TO PROVIDE GROUNDWATER RECHARGE FOR DILUTING OTHER SEWAGE FLOW ON LOT 2.
 - THE EASEMENT SHALL EXIST UNTIL THE LOT IS SERVED BY A COMMUNITY SEWAGE SYSTEM.
 - THE EASEMENT WILL NOT BE COVERED WITH IMPERMEABLE SURFACES.
 - THE EASEMENT AREA CANNOT BE USED TO PROVIDE GROUNDWATER RECHARGE FOR DILUTING OTHER SEWAGE FLOWS.
 - NO DRINKING WATER WELLS MAY BE DRILLED IN THE AREA OF THE EASEMENT.



- SURVEY NOTES:**
1. ORIGINAL BOUNDARY AND PHYSICAL FEATURES SHOWN HEREON OBTAINED FROM A FIELD SURVEY PERFORMED BY WEBER SURVEYORS COMPLETED DECEMBER 2016, UPDATED JUNE 2024. 931 STONY BATTERY ROAD, LANDISVILLE, PA (717)-898-9466. COORDINATE SYSTEM: PA STATE PLANE, SOUTH ZONE - 3702. VERTICAL DATUM: NAVD88 BENCHMARK: MAG NAIL IN THE INTERSECTION OF WALNUT HILL ROAD AND ROCK HILL ROAD ELEVATION: 325.06 CONTOURS SHOWN HEREON ARE LIDAR CONTOURS FROM DCONR PAMAP PROGRAM. CONTOUR INTERVAL: 2 FOOT
 2. RIGHT OF WAY WIDTH FOR WALNUT HILL ROAD, STATE ROUTE 3027, SHOWN FROM INFORMATION PROVIDED BY PENNSYLVANIA DEPARTMENT OF TRANSPORTATION HISTORICAL RECORDS AS 30 FOOT WIDE FROM LANCASTER COUNTY ROAD DOCKET NUMBER 3, PAGE 165.
 3. UNDERGROUND UTILITY HAVE BEEN SHOWN ACCORDING TO SURFACE EVIDENCE, MARKINGS PROVIDED BY OTHERS, AND OR PLANS PROVIDED BY THE OTHERS. THE ACTUAL LOCATION OF THESE UTILITIES HAVE NOT BEEN FIELD VERIFIED AND THE LOCATIONS ARE APPROXIMATE. WEBER SURVEYORS DOES NOT MAKE ANY REPRESENTATION, WARRANTY, ASSURANCE OR GUARANTEE THAT THE UNDERGROUND UTILITY LOCATION INFORMATION PROVIDED BY OTHERS AND REFLECTED ON THESE DRAWINGS IS CORRECT OR ACCURATE. WEBER SURVEYORS ASSUMES NO RESPONSIBILITY FOR A ANY DAMAGE AS A RESULT OF UNDERGROUND UTILITIES OMITTED OR INACCURATELY SHOWN.
 4. ALL FEATURES SHOWN ARE EXISTING UNLESS OTHERWISE NOTED.
 5. THE MARKER DESIGNATION (SET) INDICATES THAT THE DESCRIBED MARKER WILL BE SET AS PART OF THIS SURVEY. THE DESIGNATION (FND) INDICATES THAT THE MARKER WAS FOUND DURING THE FIELD SURVEY. OPEN CIRCLE WITH NO DESIGNATION INDICATES NO MARKER FOUND OR SET AS PART OF THIS SURVEY.
 6. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH.
 7. GROSS LOT AREA IS CALCULATED TO THE TITLE LINE. NET LOT AREA WILL EXCLUDE EXISTING ROAD RIGHT-OF-WAYS AND INCLUDE ANY INTERNAL EASEMENTS.
 8. ANY REVISIONS MADE TO THESE PLANS AFTER THE DATE OF PLAN PREPARATION OR LATEST REVISION DATE SHALL NOT BE THE RESPONSIBILITY OF WEBER SURVEYORS.

<p>MANAGER: DAVID W. BITNER, PE DESIGN BY: DWB DRAWN BY: JDS SURV. CHECK: DATE 8/12/2024 FIELDBOOK NO.</p>													
<p>CLIENT: JEFFREY P. & KAY L. DIEHL 456 WALNUT HILL RD. MILLERSVILLE, PA 17551</p>													
<p>TITLE: FINAL MINOR SUBDIVISION AND SWM PLAN FOR: DIEHL PROPERTY EXISTING CONDITIONS PLAN MANOR TOWNSHIP LANCASTER COUNTY, PA</p>													
<p>SHEET NO. 2 OF 10 JOB NO. 2024162-001</p>													
<p>REVISIONS:</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>2/21/25</td> <td>PER TOWNSHIP ENGINEER COMMENTS</td> </tr> <tr> <td>2</td> <td>4/7/25</td> <td>PER TOWNSHIP ENGINEER COMMENTS</td> </tr> <tr> <td>3</td> <td>4/29/25</td> <td>PER PA DEP COMMENTS</td> </tr> </tbody> </table>		NO.	DATE	REVISION	1	2/21/25	PER TOWNSHIP ENGINEER COMMENTS	2	4/7/25	PER TOWNSHIP ENGINEER COMMENTS	3	4/29/25	PER PA DEP COMMENTS
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NO.	DATE	REVISION
1	2/24/25	PER TOWNSHIP ENGINEER COMMENTS
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3	4/29/25	PER PA DEP COMMENTS

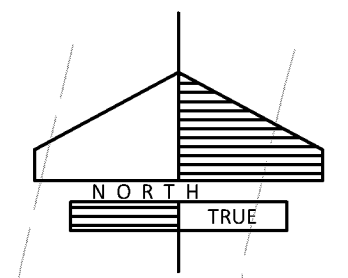
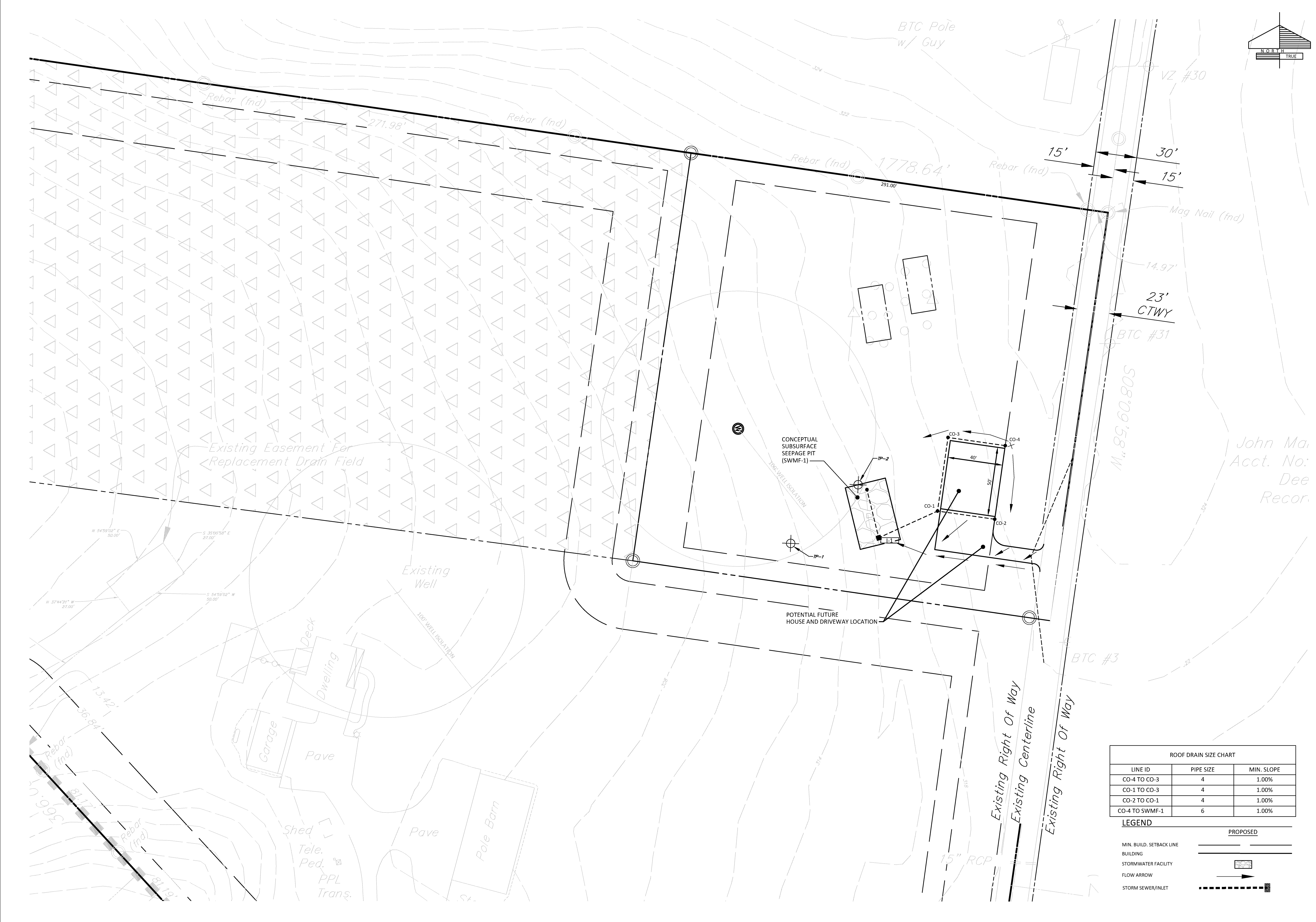
MANAGER:	DAVID W. BITNER, PE
DESIGN BY:	DWB
DRAWN BY:	JDS
SURV. CHIEF:	WEBER SRVS
DATE:	8/12/2024
FIELDBOOK NO.:	

CLIENT:	JEFFREY P. & KAY L. DIEHL 456 WALNUT HILL RD. MILLERSVILLE, PA 17551
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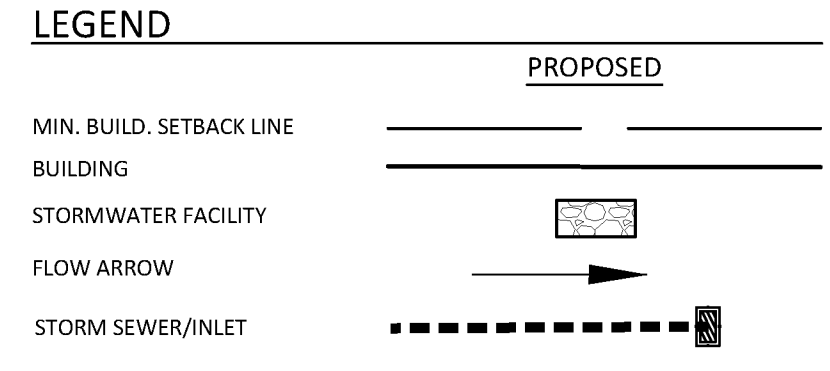
TITLE:	FINAL MINOR SUBDIVISION AND SWM PLAN FOR DIEHL PROPERTY SUBDIVISION PLAN MANOR TOWNSHIP LANCASTER COUNTY, PA
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SHEET NO.	3	OF	10
JOB NO.	2024162-001		



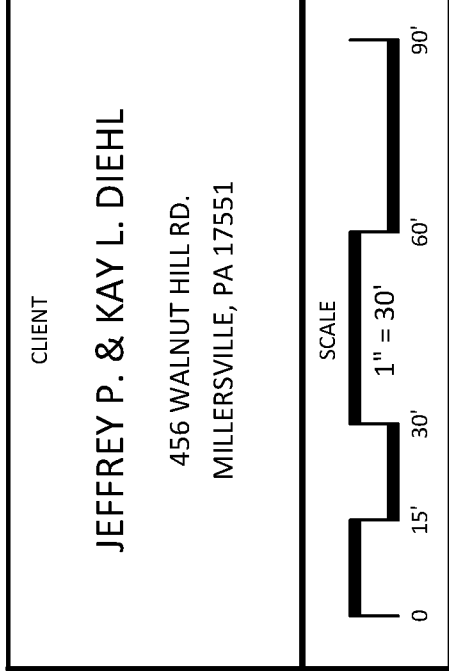
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CO-4 TO CO-3	4	1.00%
CO-1 TO CO-3	4	1.00%
CO-2 TO CO-1	4	1.00%
CO-4 TO SWMF-1	6	1.00%



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3	4/29/25	PER PA DEP COMMENTS

MANAGER: DAVID W. BITNER, PE	CHD BY: DWB
DESIGN BY: DWB	CHKD BY: DWB
DRAWN BY: JDS	DATE: 8/12/2024
SUPV. CHIEF: WEBER SVS	FIELDBOOK NO.

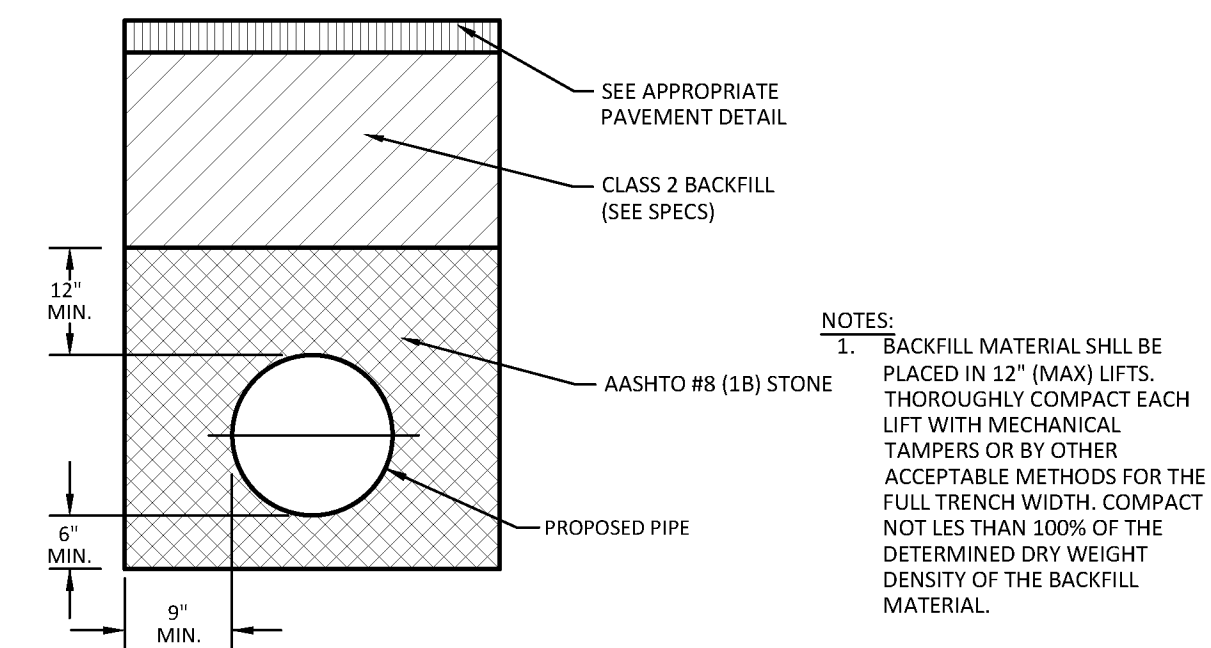
CLIENT:	JEFFREY P. & KAY L. DIEHL 456 WALNUT HILL RD. MILLERSVILLE, PA 17551
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TITLE: FINAL MINOR SUBDIVISION AND SWM PLAN FOR DIEHL PROPERTY
STORMWATER MANAGEMENT PLAN
MANOR TOWNSHIP LANCASTER COUNTY, PA

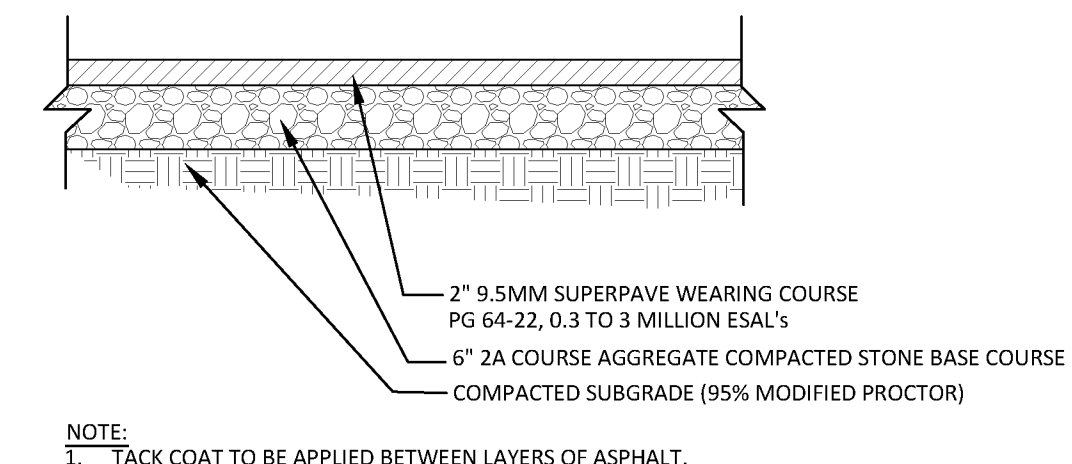
SHEET NO. 4 OF 10
JOB NO. 2024162-001



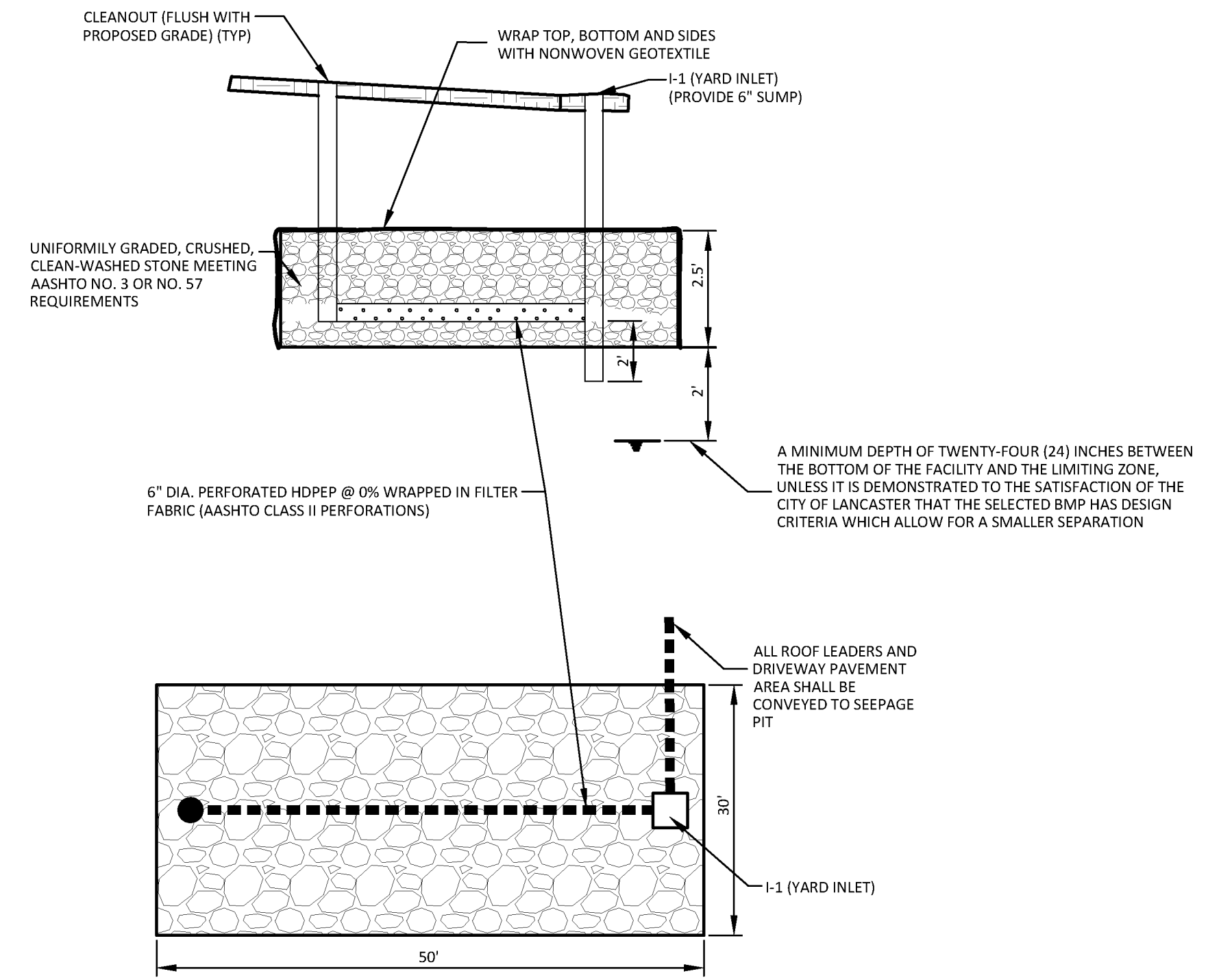
PIPE BEDDING AND TRENCH BACKFILL DETAIL
NO SCALE

FACILITY	OPERATION AND MAINTENANCE
SWMF-1	<p>REGULAR MAINTENANCE: FREQUENCY: ANNUALLY FOR THE FIRST FIVE (5) YEARS; ONCE EVERY THREE YEARS THEREAFTER; DURING THE CESSATION OF A 10-YEAR OR GREATER STORM, AND INFLOW AREAS OF THE FACILITY.</p> <ul style="list-style-type: none"> REMOVE ACCUMULATED SEDIMENT, TRASH, AND DEBRIS FROM THE PRETREATMENT AND INFLOW AREAS OF THE FACILITY. IF 72 HOURS AFTER A RAINFALL EVENT, PONDING WATER IS FOUND WITHIN THE OBSERVATION WELL OF THE FACILITY, THE FACILITY IS NOT OPERATING PROPERLY. IF THE FACILITY IS NOT DRAINING PROPERLY, UTILIZE PUMP FOR DEWATERING. CONTACT DESIGN ENGINEER TO EVALUATE DEWATERING ISSUE AND PROVIDE GUIDANCE FOR CORRECTIVE ACTION. REMOVE ACCUMULATED TRASH, DEBRIS, AND SEDIMENT FROM THE UNDERGROUND FACILITY UTILIZING A VACUUM TRUCK, SPRAY HOSE, OR SIMILAR. CONTACT PROJECT ENGINEER FOR REPAIR SOLUTIONS IF THESE COMPONENTS ARE DAMAGED. ALL CONVEYANCE AND DETENTION FACILITIES SHALL BE KEPT FREE OF ANY DEBRIS OR OTHER OBSTRUCTION AND IN ORIGINAL DESIGN CONDITION.

SWMF-1 OPERATION AND MAINTENANCE NOTES
NO SCALE



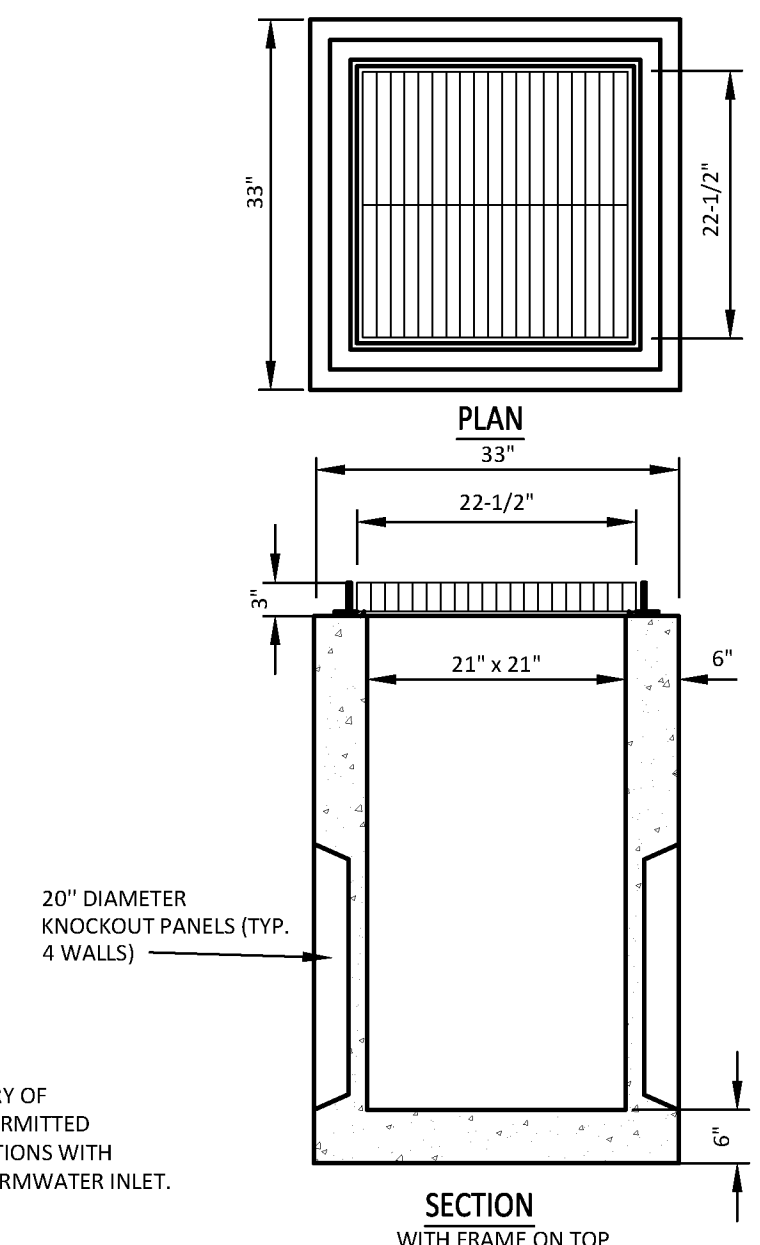
DRIVEWAY PAVEMENT SECTION
NO SCALE



PLAN VIEW SWMF-1
NO SCALE

- NOTES:**
- CONTRACTOR TO SCARIFY TRENCH BOTTOM FOR EXCAVATION.
 - THE OPERATION OF CONSTRUCTION EQUIPMENT DIRECTLY OVER THE SEEPAGE PIT SHALL BE RESTRICTED TO REDUCE THE POTENTIAL FOR COMPACTION OF THE SOILS.
 - THE PIT SHOULD BE CONSTRUCTED WITH A LEVEL BOTTOM TO PROMOTE AN EVEN INFILTRATION THROUGHOUT THE PIT.
 - IN AREAS WHERE WEATHERED BEDROCK IS EXPOSED OR PRESENT AT THE BOTTOM OF AN INFILTRATION STRUCTURE OR AREA, A NON-WOVEN GEOTEXTILE FILTER FABRIC (6 OZ/SY, MIN.) SHALL BE PLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS ABOVE THE WEATHERED ROCK AND PRIOR TO THE PLACEMENT OF ANY OVERLAYING COVER SOILS OR TOPSOIL. IF SIGNIFICANT VOID SPACES OR VOID SPACES WIDER THAN 0.5 INCHES ARE PRESENT, AASHTO NO. 57 STONE OR OTHER WELL-GRADED STONE APPROVED BY THE ENGINEER SHALL BE PLACED AND COMPACTED ACROSS THE AREA PRIOR TO THE PLACEMENT OF THE GEOTEXTILE FILTER FABRIC.
 - INFILTRATION TESTING SHALL BE CONDUCTED AT THE BOTTOM OF THE FACILITY PRIOR TO THE PLACEMENT OF STONE.
 - UPON COMPLETION OF CONSTRUCTION, A QUALIFIED INDIVIDUAL REGISTERED IN THE COMMONWEALTH OF PENNSYLVANIA (PREFERABLY THE DESIGN PROFESSIONAL) SHALL PROVIDE THE TOWNSHIP WITH A LETTER CERTIFYING THAT THE STORMWATER FACILITIES WERE CONSTRUCTED ACCORDING TO THE APPROVED DESIGN AND IN ACCORDANCE WITH THE TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.
 - UPON COMPLETION OF CONSTRUCTION, THE EXCAVATION CONTRACTOR SHALL PROVIDE THE TOWNSHIP WITH A LETTER CERTIFYING THAT THE INFILTRATION BED WAS CONSTRUCTED ACCORDING TO THE APPROVED PLAN AND THAT THE BED AREA WAS PROTECTED FROM COMPACTION AND SEDIMENTATION THROUGHOUT THE COURSE OF CONSTRUCTION.

STORMWATER FACILITY NOTES



SECTION WITH FRAME ON TOP 2'X2' YARD INLET
NO SCALE

- NOTES:**
- NO CORNER ENTRY OF STORM PIPE IS PERMITTED TO ANY CONNECTIONS WITH ANY TYPE OF STORMWATER INLET.

NO.	DATE	REVISION
1	2/2/25	PER TOWNSHIP ENGINEER COMMENTS
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3	4/29/25	PER PA DEF COMMENTS

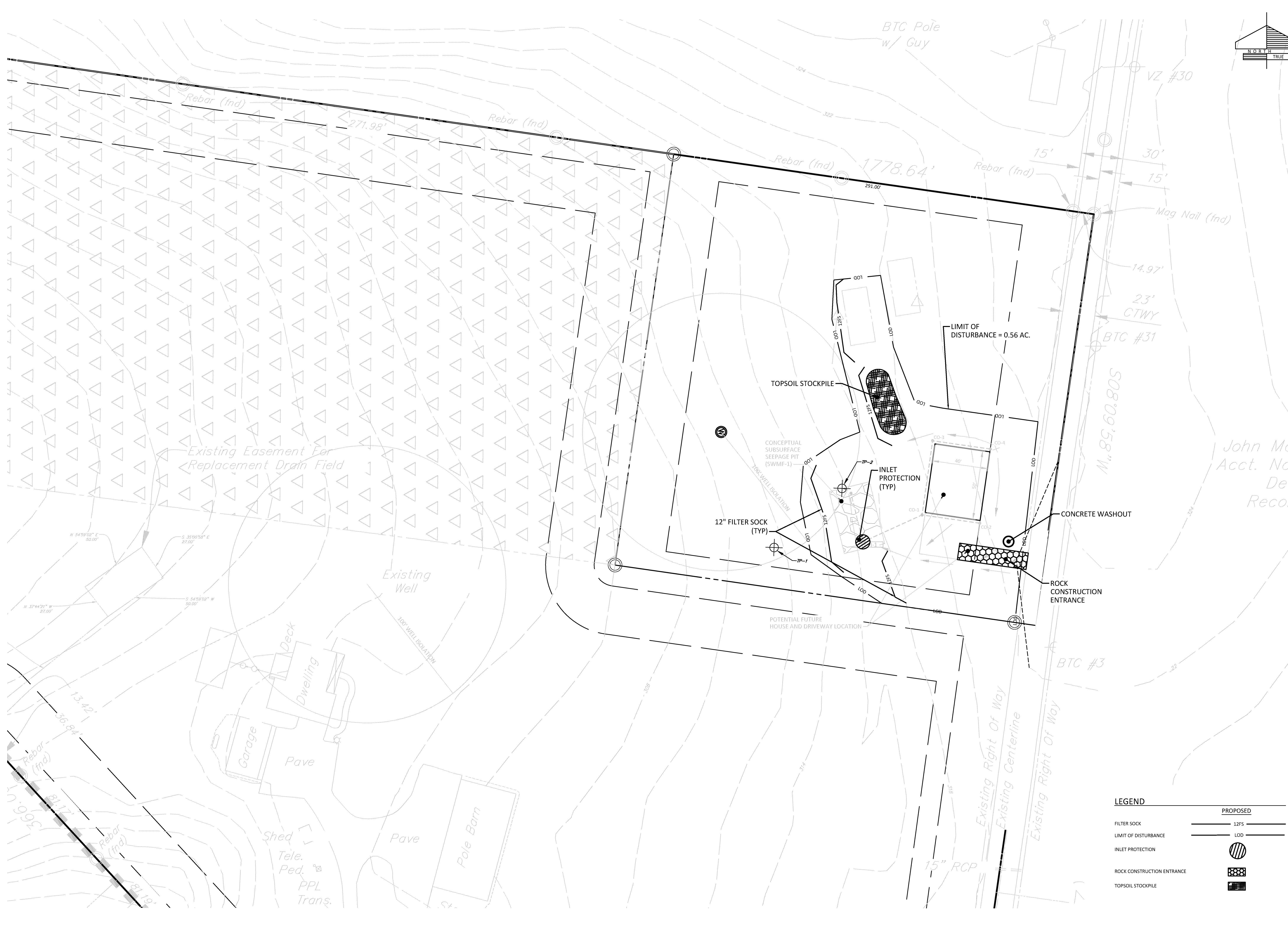
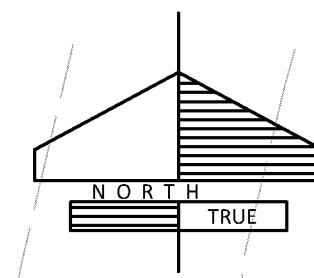
MANAGER:	DAVID W. BITNER, PE
DESIGN BY:	DWB
DRAWN BY:	JDS
DATE:	8/12/2024
FIELDBOOK NO.:	

CLIENT:	JEFFREY P. & KAY L. DIEHL 456 WALNUT HILL RD. MILLERSVILLE, PA 17551
SCALE:	1" = 80'

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TITLE
 FINAL MINOR SUBDIVISION AND SWM PLAN
 FOR
DIEHL PROPERTY
 SITE AND STORMWATER DETAILS
 LANCASTER COUNTY, PA
 MANOR TOWNSHIP

SHEET NO.	5 OF 10
JOB NO.	2024162-001



LEGEND

FILTER SOCK	
LIMIT OF DISTURBANCE	
INLET PROTECTION	
ROCK CONSTRUCTION ENTRANCE	
TOPSOIL STOCKPILE	

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SCALE	1" = 30'
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TITLE	FINAL MINOR SUBDIVISION AND SWM PLAN FOR DIEHL PROPERTY EROSION AND SEDIMENT CONTROL PLAN MANOR TOWNSHIP LANCASTER COUNTY, PA
SHEET NO.	6 OF 10
JOB NO.	2024162-001

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EROSION AND SEDIMENT SEQUENCE OF CONSTRUCTION

- NOTES:
1. THE PROPOSED TOTAL DISTURBED AREA OF 0.56 ACRES SHALL NOT AT ANY POINT IN TIME EXCEED 1 ACRE OF DISTURBANCE.
2. SHOULD LAND DISTURBANCE DURING CONSTRUCTION ACTIVITIES EXCEED THE 1 ACRE THRESHOLD, THE APPLICANT WILL CEASE ALL CONSTRUCTION AND SUBMIT AN NPDES PERMIT APPLICATION TO THE LCCD AND WILL NOT RESUME CONSTRUCTION OPERATIONS UNTIL THE NPDES PERMIT HAS BEEN ISSUED...

- SEQUENCE:
1. AT LEAST 3 DAYS AHEAD OF ANY ONSITE WORK, THE CONTRACTOR SHALL PERFORM A PA ONE CALL TO MARK ANY BURIED UTILITIES.
2. AT LEAST 7 DAYS PRIOR TO THE START OF THE SITE WORK, A PRECONSTRUCTION MEETING SHALL BE HELD ON THE PROJECT SITE. MEETING ATTENDEES SHOULD INCLUDE MAJOR TOWNSHIP REPRESENTATIVE(S), PERMITTEE, AND THE DESIGN ENGINEER.
3. INSTALL CONSTRUCTION ENTRANCE WHERE SHOWN ON PLAN.
4. INSTALL SILT SOCK WHERE SHOWN ON PLAN.
5. STRIP TOPSOIL IN AREA OF PROPOSED DRIVEWAY AND STOCKPILE WHERE SHOWN ON PLAN.
6. INSTALL STONE BASE ON DRIVEWAY.
7. STRIP TOPSOIL IN AREA OF SWMP-1 AND STOCKPILE WHERE SHOWN ON PLAN.
8. INSTALL SWMP-1, IMMEDIATELY INSTALL INLET PROTECTION, AS SHOWN ON PLAN.
9. INSTALL INLET 1, ALONG WITH PIPING SIMULTANEOUSLY WITH STORMWATER FACILITY INSTALLATION. IMMEDIATELY INSTALL INLET PROTECTION.
10. CLEAR AND GRUB ANY REMAINING VEGETATION.
11. BUILDING CONSTRUCTION AND SITE GRADING MAY BEGIN.
12. PERFORM EARTHWORK TO GRADES INDICATED.
13. AS EARTHWORK OPERATIONS ARE COMPLETED ON THE SITE, INSTALL STONE SUBBASE, BINDER COURSE AND WEARING COURSE ON DRIVEWAY AS SOON AS POSSIBLE TO STABILIZE THE SITE.
14. REPLACE TOPSOIL AROUND THE PERIMETER OF THE SITE AND IMMEDIATELY STABILIZE WITH EITHER TEMPORARY OR PERMANENT SEED DEPENDING ON THE TIME OF YEAR THIS IS ACHIEVED.
12. IMMEDIATELY FOLLOWING THE PLACEMENT OF TOPSOIL ON SLOPE AREAS, PLACE EROSION CONTROL BLANKETS ON ALL SLOPES 3:1 OR GREATER.
13. UPON 70% STABILIZATION OF THE SITE, ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS PART OF THIS PLAN SHALL BE REMOVED FROM THE PROJECT SITE.

TEMPORARY SEEDING SPECIFICATIONS

- 1. IN ORDER TO ESTABLISH A QUICK GRASS COVER OVER DISTURBED AREAS, A TEMPORARY SEED MIXTURE SHALL BE USED.
A. STABILIZATION EFFORTS DURING THE NON-GERMINATING PERIOD, OCT. 15 TO MARCH 15, SHOULD BE MULCHED WITH CLEAN STRAW AT A RATE OF 3 TONS/AC. (EQUIVALENT TO 0.75" TO 1" DEEP). CLEAN STRAW MULCH SHOULD NOT BE FINELY CHOPPED OR BROKEN DURING APPLICATION.
B. SEED MIXES ARE FROM THE PENN STATE AGRONOMY GUIDE AND THE MIX TO BE USED DEPENDS ON THE DATE UTILIZED, THEY ARE:

Table with 3 columns: SEEDING SCHEDULE FOR TEMPORARY COVER, SEEDING RATE, SEEDING DATES. Rows include Annual Ryegrass, Winter Rye, and various seeding rates and dates.

PERMANENT SEEDING SPECIFICATIONS

- 1. ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED SHALL BE COVERED WITH GRASS OR A LEGUME IN ORDER TO MINIMIZE EROSION, UNLESS OTHERWISE DIRECTED BY THE OWNER.
2. MULCHING SHALL BE USED TO PROTECT SEEDING AND HELP IN PREVENTING RUNOFF.
A. CLEAN STRAW MULCH SHALL BE REQUIRED IN ALL DISTURBED AREAS AND APPLIED AT A RATE OF 3 TONS/ACRE (EQUIVALENT TO 0.75" TO 1" DEEP). CLEAN STRAW MULCH SHOULD NOT BE FINELY CHOPPED OR BROKEN DURING APPLICATION.
B. STRAW AND HAY MULCH SHOULD BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION TO PREVENT BEING WINDBLOWN. A TRACTOR-DRAWN IMPLEMENT MAY BE USED TO "CRIMP" THE STRAW OR HAY INTO THE SOIL - ABOUT 3 INCHES. THIS METHOD SHOULD BE LIMITED TO SLOPES NO STEEPER THAN 3H:1V. THE MACHINERY SHOULD BE OPERATED ON THE CONTOUR.
C. POLYMERIC AND GLUM TACKIFIERS MIXED AND APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS MAY BE USED TO TACK MULCH.
D. SYNTHETIC BINDERS, OR CHEMICAL BINDERS, MAY BE USED AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH PROVIDED SUFFICIENT DOCUMENTATION IS PROVIDED TO SHOW THEY ARE NON-TOXIC TO NATIVE PLANT AND ANIMAL SPECIES.
E. MULCH ON SLOPES OF 8% OR STEEPER SHOULD BE HELD IN PLACE WITH NETTING. LIGHTWEIGHT PLASTIC, FIBER, OR PAPER NETS MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
F. SHREDDED PAPER HYDROMULCH SHOULD NOT BE USED ON SLOPES STEEPER THAN 5%. WOOD FIBER HYDROMULCH MAY BE APPLIED ON STEEPER SLOPES PROVIDED A TACKIFIER IS USED. THE APPLICATION RATE FOR ANY HYDROMULCH SHOULD BE 2,000 LB/ACRE AT A MINIMUM.
3. SEED MIXTURES ARE FROM THE PENN STATE AGRONOMY GUIDE. THE SEED MIXTURES SHALL CONSIST OF:
LAWN MIX (USED THROUGHOUT SITE)
SEED TYPE % BY WT SEEDING RATE SEEDING DATES
KY. BLUEGRASS 30% 4 LBS./1000 SF AUG. 15 TO OCT. 15
CREEP RED FESCUE 55%
PERENNIAL RYEGRASS 15%

- 4. FOR FURTHER INFORMATION ON SEED MIXES, SEE THE E & S WORKSHEETS IN THE CHAPTER 102 REGULATIONS.
5. CONTRACTOR SHALL EVALUATE SOIL ACIDITY. ALL SOILS WITH A PH LESS THAN 5.5 SHALL BE TREATED WITH LIME AT 6 TONS/ACRE.
6. IN THE ABSENCE OF SOIL TESTING, FERTILIZER OF 10-20-20, AT AN APPLICATION RATE OF 1000 LB./ACRE SHALL BE USED WITH PERMANENT SEEDING.
7. IN THE ABSENCE OF SOIL TESTING, LIME RATES OF 3 TONS/ACRE OF AGRICULTURAL GRADE LIME SHALL BE USED WITH PERMANENT SEEDING.

GENERAL NOTES

- 1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
2. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
3. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
4. FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE EARTH DISTURBANCE ACTIVITY, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
5. IN ORDER TO MINIMIZE SOIL COMPACTION IN NON-STRUCTURAL AREAS, THE CONTRACTOR SHALL UTILIZE SMALLER, TRACKED EQUIPMENT WHEN POSSIBLE, IN PLACE OF STANDARD HEAVY EARTHMOVING MACHINERY.
6. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
7. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS AND STABILIZED IN ACCORDANCE WITH THE DETAILS INCLUDED ON THIS PLAN. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
8. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
9. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON THIS SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
10. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, THROUGH A SEDIMENT CONTROL BEST MANAGEMENT PRACTICE SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE OVER UNDISTURBED VEGETATED AREAS.
11. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT AND MODIFICATION, SHALL BE COMPLETED IMMEDIATELY. IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
12. A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
13. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
14. ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
15. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
16. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS, OR AS OTHERWISE SPECIFIED IN THE GEOTECHNICAL REPORT FOR THE PROJECT SITE.
17. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
18. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
19. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
20. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
21. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
22. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
23. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
24. E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
25. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
26. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
27. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
28. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
29. ALL CHANNELS SHALL BE KEPT FREE OF OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO FILL, ROCKS, LEAVES, WOODY DEBRIS, ACCUMULATED SEDIMENT, EXCESS VEGETATION, AND CONSTRUCTION MATERIALS/WASTES.
30. EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.
31. UPON COMPLETION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY, THE SITE SHALL BE IMMEDIATELY SEEDED, MULCHED OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION. EROSION AND SEDIMENT CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED UNTIL THE PERMANENT STABILIZATION IS COMPLETED. FOR AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY TO BE CONSIDERED PERMANENTLY STABILIZED, THE DISTURBED AREAS SHALL BE COVERED WITH ONE OF THE FOLLOWING: (1) A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER, WITH A DENSITY CAPABLE OF RESISTING ACCELERATED EROSION AND SEDIMENTATION. (2) AN ACCEPTABLE BMP WHICH PERMANENTLY MINIMIZES ACCELERATED EROSION AND SEDIMENTATION.
32. ALL SUPPLIES AND MATERIALS NECESSARY TO IMPLEMENT E&S AND/OR PCSM PLAN SHALL BE READILY AVAILABLE PRIOR TO THE ANTICIPATED CONSTRUCTION OF EACH BMP.
33. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
34. IT IS THE CONTRACTORS' RESPONSIBILITY TO VERIFY WITH BITNER ENGINEERING, PRIOR TO BEGINNING CONSTRUCTION, THAT THE MOST CURRENT APPROVED PLANS ARE BEING UTILIZED.
35. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.

MAINTENANCE PROGRAM

- 1. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT CONTROL BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL, TO ENSURE FACILITIES ARE OPERATIONAL AND EFFECTIVE IN PREVENTING POLLUTION TO THE WATERS OF THE COMMONWEALTH. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF ANY FACILITIES ARE FOUND TO BE INOPERATIVE OR INEFFECTIVE, THE REVIEWING AGENCY SHALL BE NOTIFIED BY PHONE OR PERSONAL CONTACT, AND REPLACEMENT BMPs, OR MODIFICATIONS TO THOSE INSTALLED WILL BE REQUIRED.
2. THE PERMITTEE AND CO-PERMITTEE MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED WEEKLY AND AFTER EACH MEASURABLE PRECIPITATION EVENT (0.25 INCHES) BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL, TO ASCERTAIN THAT THE EROSION AND SEDIMENT CONTROL (E&S) BMPs ARE OPERATIONAL AND EFFECTIVE IN PREVENTING POLLUTION TO THE WATERS OF THE COMMONWEALTH. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT AND INCLUDE:
(1) A SUMMARY OF SITE CONDITIONS, E&S BMPs, AND COMPLIANCE; AND
(2) THE DATE, TIME, AND THE NAME OF THE PERSON CONDUCTING THE INSPECTION.
3. SPECIFIC MAINTENANCE REQUIREMENTS FOR THE RESPECTIVE FACILITIES ARE AS FOLLOWS:
A. SWALES
• REPAIR ANY DAMAGE TO MATTING ON THE SWALE.
• IF SEEDING HAS BEEN WASHED AWAY, RE-SEED AS ORIGINALLY SPECIFIED. PROBLEM AREAS SHALL BE SOODED.
• ANY ACCUMULATED SEDIMENT SHALL BE REMOVED.
B. MULCHING
• ANY MULCHING WASHED AWAY SHALL BE REPLACED IN KIND AND TACKED.
C. FILTER SOCK
• REPAIR ANY DAMAGE (KNOCKED DOWN SECTION OR UNDERMINED TOE).
• REPLACE ANY SECTIONS WHICH ARE UNABLE TO BE REPAIRED.
• REMOVE SILT WHEN UP TO 1/2 HEIGHT OF SOCK.
D. ROCK CONSTRUCTION ENTRANCE
• MAINTAIN THE THICKNESS OF THE STRUCTURE WITH A SUPPLY OF AASHTO #1 STONE ON-SITE.
• AT THE END OF DAY OR MORE OFTEN AS NEEDED, ALL SEDIMENT LOCATED ON ADJACENT STOCKPILES SHALL BE REMOVED (WITHOUT WATER) AND DEPOSITED ON-SITE.
E. STOCKPILES
• ANY FILTER SOCK BELOW THESE PILES THAT IS KNOCKED DOWN OR UNDERMINED SHALL BE REPLACED WITH STONE FILTER SOCKS.
• REPAIR ANY DAMAGE AND MAINTAIN HEIGHT.
F. INLET PROTECTION
• REMOVE SILT WHEN ACCUMULATION REACH 1/2 THE HEIGHT OF INLET PROTECTION.
• REPAIR ANY DAMAGE AND MAINTAIN HEIGHT.
G. SEDIMENT FILTER BAGS
• A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE MAINTAINED.
• FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED.
• BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.
H. CONCRETE WASHOUT FACILITIES
• ALL CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY.
• DAMAGED OR LEAKING WASHOUTS SHOULD BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY.
• ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY REACH 75% CAPACITY.
• PLASTIC LINERS SHOULD BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.
4. WHEN SEDIMENT IS REMOVED FROM THE VARIOUS FACILITIES, IT SHALL BE PLACED IN AREAS ADJACENT TO STOCKPILES. FILTER SOCK SHALL BE PLACED DOWNHILL FROM THE PILE. IMMEDIATELY COVER WITH PLASTIC SHEETING AND ANCHOR FIRMLY OR STABILIZE WITH SEED, LIME, FERTILIZE AND MULCH. THIS MATERIAL CAN BE USED AS FILL MATERIAL AND INCORPORATED INTO THE SITE GRADING.
5. REFER TO THE EROSION AND SEDIMENTATION CONTROL DETAILS FOR SPECIFIC INFORMATION REGARDING THE CONSTRUCTION, INSPECTION SCHEDULE, SEDIMENT CLEANOUT LEVELS, REPAIR PARAMETERS AND TIME FRAMES, AND DIRECTIONS FOR SEDIMENT REMOVAL ASSOCIATED WITH PROPOSED E&S BMPs.
6. SOME OF THE FACILITIES MAY HAVE TO BE EXTENDED OR SUPPLEMENTED DUE TO UNFORESEEN SITE SPECIFIC SITUATIONS. STEPS SHALL BE TAKEN TO ENSURE THAT SEDIMENT LADEN RUNOFF IS PREVENTED FROM FLOWING FROM THESE AREAS BY USING THE MEASURES NOTED HEREIN.
7. CONTRACTOR SHALL ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS THAT COULD ADVERSELY IMPACT WATER QUALITY. DISPOSAL OR RECYCLING OF EXCESS MATERIAL SHALL BE PERFORMED IN ACCORDANCE WITH DEPARTMENT REGULATIONS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND THE PREVENTION OF SEDIMENT RUNOFF FROM ENTERING ADJACENT PROPERTIES.

RECYCLING AND DISPOSAL SPECIFICATIONS

- 1. THE RECYCLING AND DISPOSAL OF MATERIAL ASSOCIATED WITH THE INSTALLATION, CONVERSION, REMOVAL AND/OR MAINTENANCE OF THE PCSM BMPs IS ANTICIPATED TO INCLUDE SEDIMENT, VEGETATION, PLASTIC CONVEYANCE PIPING, RIP-RAP, ARBITRARY DEBRIS, AND/OR ANY PACKAGING ASSOCIATED WITH MATERIALS UTILIZED IN THE CONSTRUCTION OF THE PCSM BMP. ANY SEDIMENT REMOVED FROM THE AREA OF THE PROPOSED PCSM BMP, OR FROM A PREVIOUSLY INSTALLED FACILITY BEING CONVERTED AS PART OF THE CONSTRUCTION AND INSTALLATION OF THE PCSM BMP, SHALL BE PLACED IN A LOCATION ON-SITE AND IMMEDIATELY STABILIZED TO MINIMIZE THE POTENTIAL FOR ACCELERATED EROSION. APPROPRIATE EROSION AND SEDIMENTATION CONTROL MEASURES, IMPLEMENTED IN ACCORDANCE WITH CURRENT CHAPTER 102 REGULATIONS, SHALL BE IN PLACE TO PREVENT SEDIMENT LADEN RUNOFF FROM LEAVING THE DISTURBED AREA. ANY EXISTING VEGETATION SHALL BE COMPOSTED ON-SITE, WHEN PRACTICAL, OR TRANSPORTED TO AN APPROPRIATE FACILITY ABLE TO ACCEPT MATERIAL OF THIS NATURE. THE REMOVAL OF PREVIOUSLY INSTALLED CONVEYANCE PIPING OR RIP-RAP, ARBITRARY DEBRIS, AND/OR ANY PACKAGING ASSOCIATED WITH MATERIALS UTILIZED IN THE INSTALLATION OF THE PCSM BMPs, SHALL BE REMOVED OR RECYCLED IN ACCORDANCE WITH ANY AND ALL APPLICABLE STATE OR FEDERAL REGULATIONS. NO MATERIALS OR WASTES OR UNUSED MATERIALS FROM PCSM BMP INSTALLATION SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
2. CONSTRUCTION WASTE IS ANTICIPATED TO INCLUDE TYPICAL BUILDING MATERIALS (I.E. LUMBER, DRYWALL, MASONRY, CARBOARD AND PAPER, INSULATION, ASPHALT ROOFING, PLASTIC AND VINYL, PAINTS, STAINS, SOLVENTS AND SEALANTS, ETC.). IT IS STRONGLY ENCOURAGED THAT SUCH RECOVERABLE WASTE MATERIALS BE SEPARATED AND APPROPRIATELY RECYCLED. NO POTENTIALLY TOXIC OR HAZARDOUS WASTE IS KNOWN TO BE PRESENT ON-SITE. IF ANY TOXIC OR HAZARDOUS WASTE IS ENCOUNTERED, THE CONTRACTOR SHALL FOLLOW ANY AND ALL APPLICABLE STATE OR FEDERAL REGULATIONS ASSOCIATED WITH THE DISPOSAL OF SUCH MATERIALS.
3. ALL MATERIALS AND WASTES ASSOCIATED WITH PCSM BMP INSTALLATION AND/OR BUILDING CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
4. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ANY EXCESS MATERIAL AND MAKE SURE THE SITE(S) RECEIVING THE EXCESS HAS AN APPROVED AND FULLY IMPLEMENTED EROSION AND SEDIMENT CONTROL PLAN THAT MEETS THE CONDITIONS OF CHAPTER 102 AND/OR OTHER STATE OR FEDERAL REGULATIONS.
5. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)
6. ANY PLACEMENT OF CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL.
7. ENVIRONMENTAL DUE DILIGENCE MUST BE PERFORMED TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL". FILL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 207 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE. THESE REGULATIONS ARE AVAILABLE ON-LINE AT WWW.PACODE.COM.

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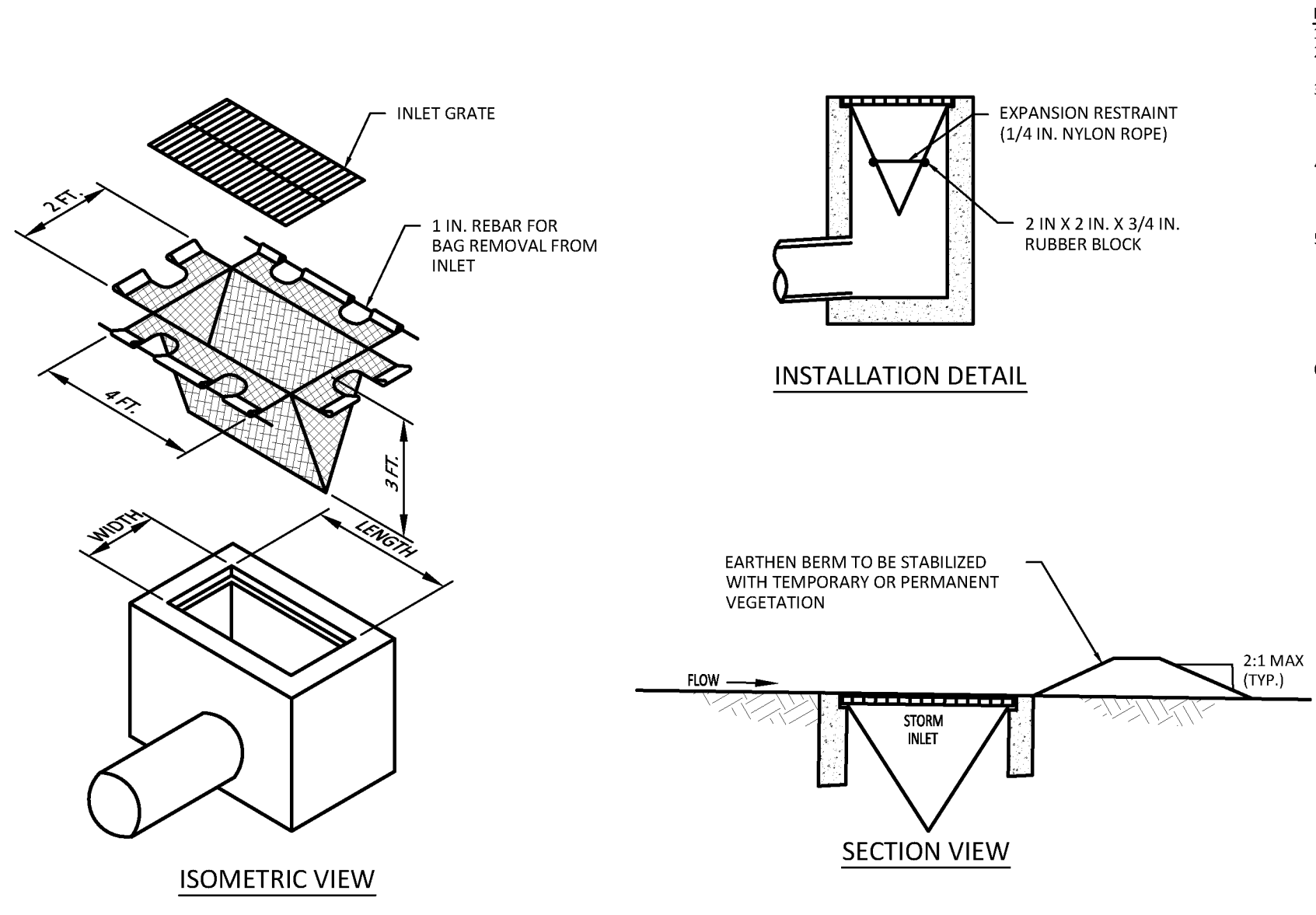
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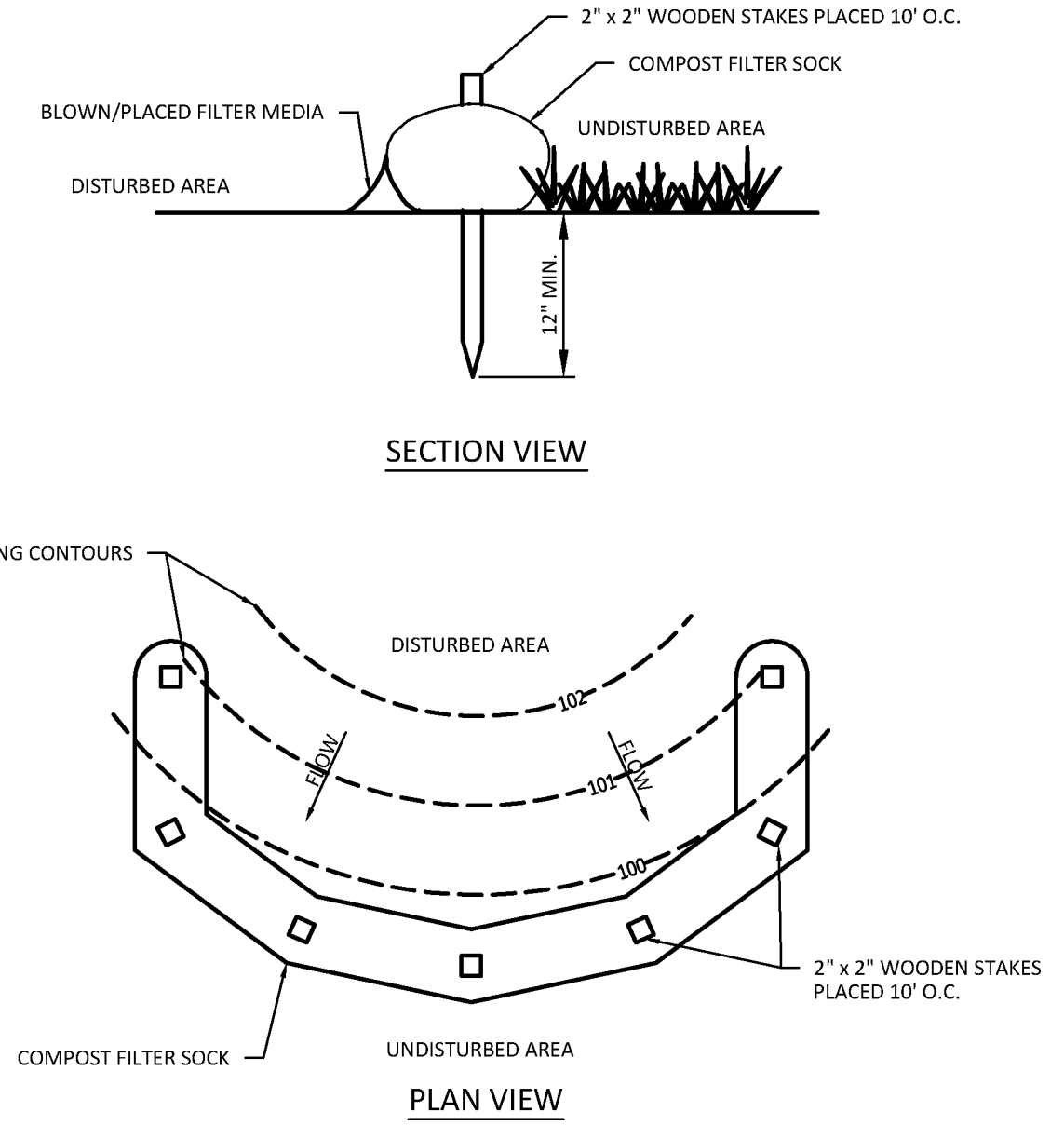
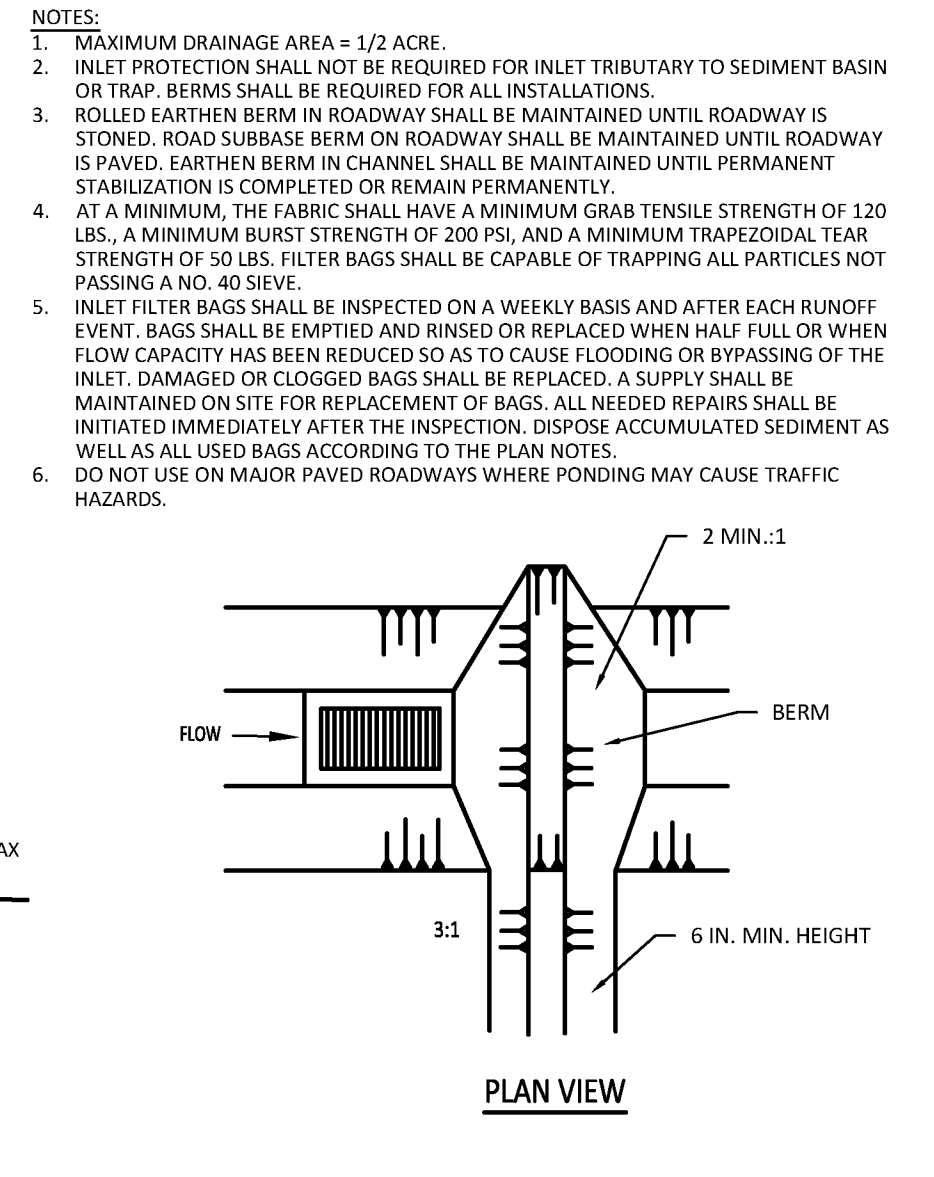
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Bitner Engineering logo and contact information: 711 Speedwell Forge Rd • Lititz, PA 17543, 717.366.1169 • dav@bitnerengineering.com

TITLE: FINAL MINOR SUBDIVISION AND SWM PLAN FOR DIEHL PROPERTY. EROSION AND SEDIMENT CONTROL NOTES. MANOR TOWNSHIP, LANCASTER COUNTY, PA. SHEET NO. 7 OF 10. JOB NO. 2024162-001.

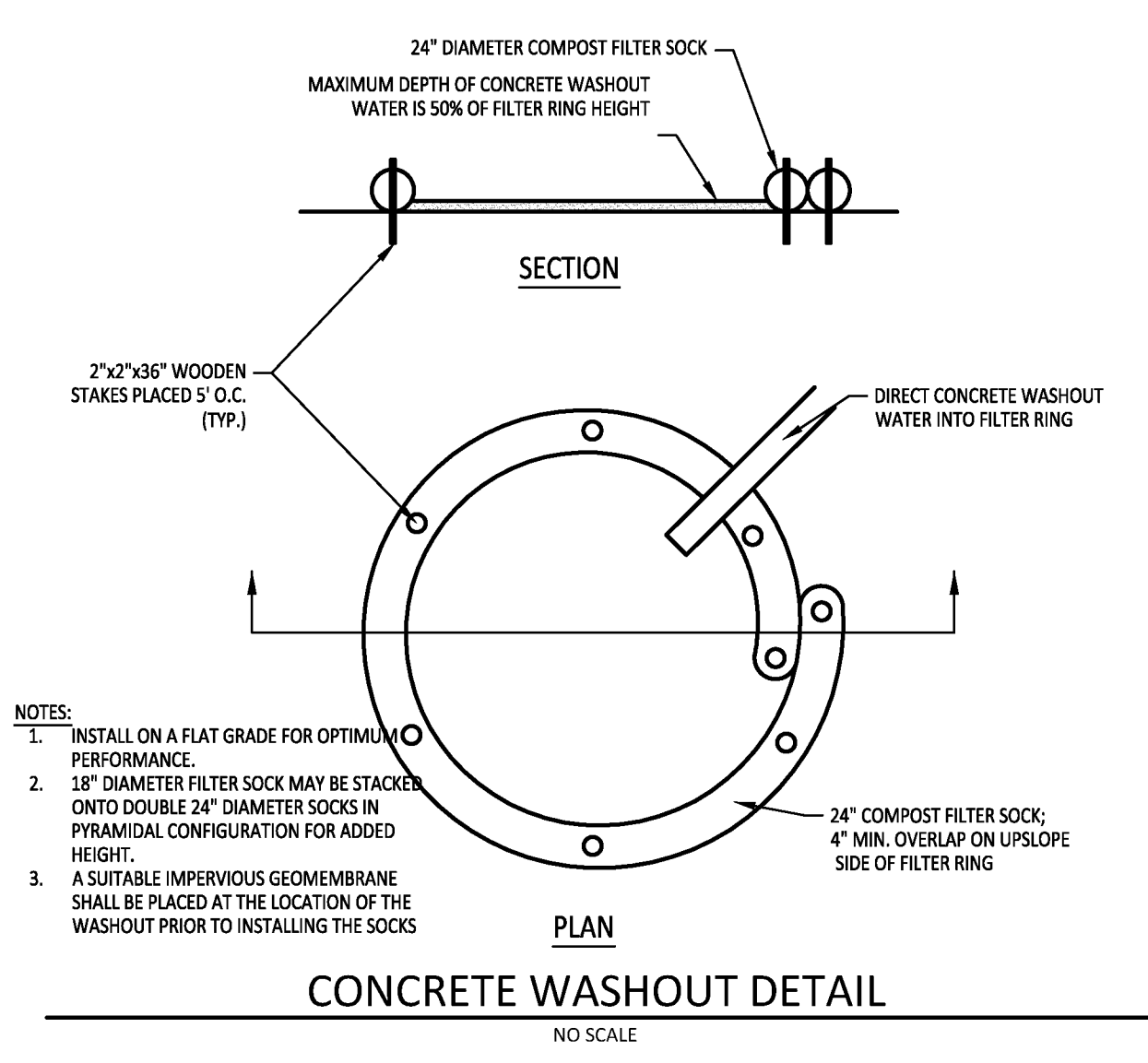


**STANDARD CONSTRUCTION DETAIL #4-16
FILTER BAG INLET PROTECTION - TYPE M INLET**
NO SCALE



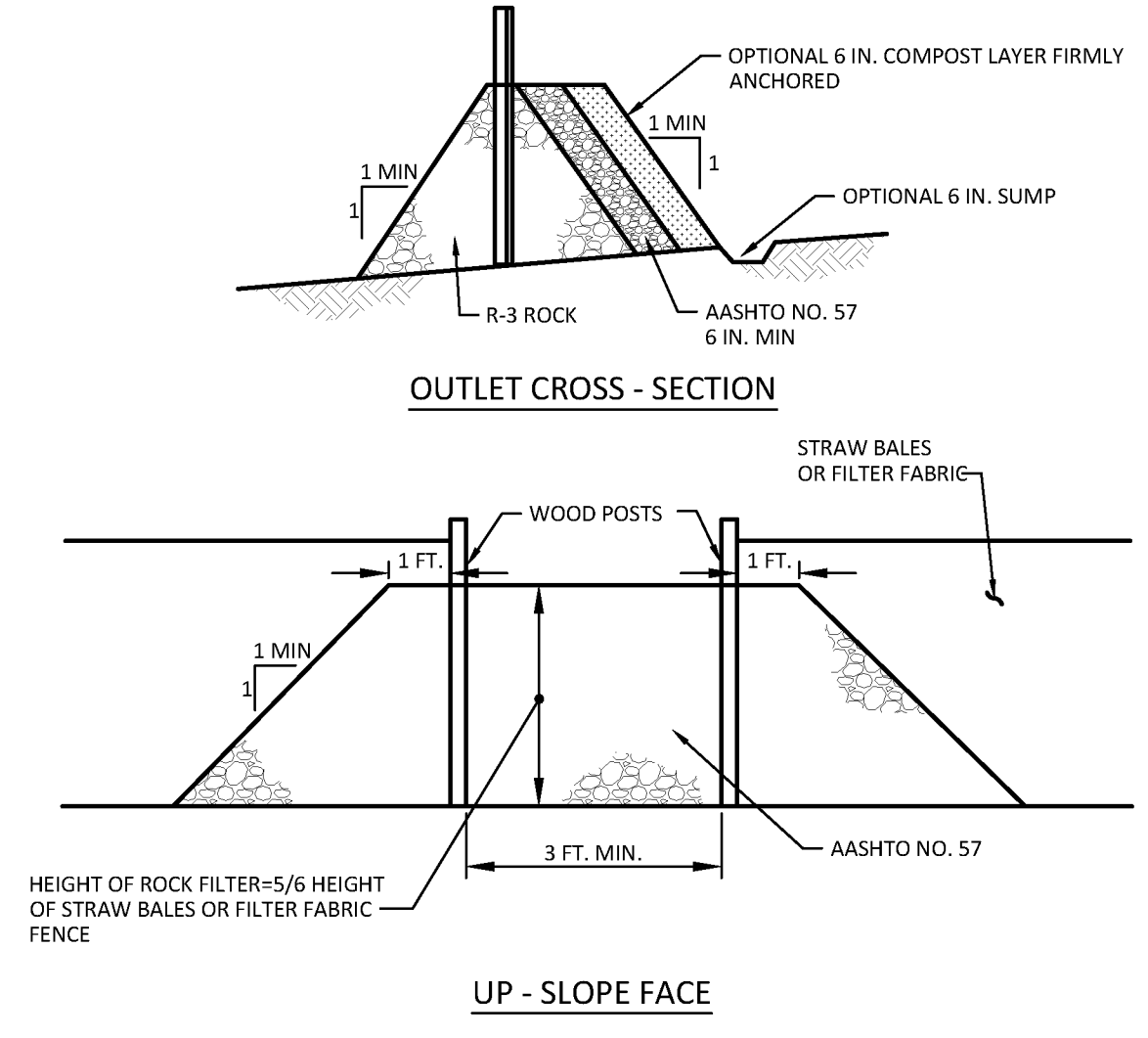
COMPOST FILTER SOCK
NO SCALE

- NOTES:**
- SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2.
 - COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT (FIGURE 4.1). MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED THAT SHOWN ON FIGURE 4.2. STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.
 - TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 - SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 - BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 - UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED, THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.



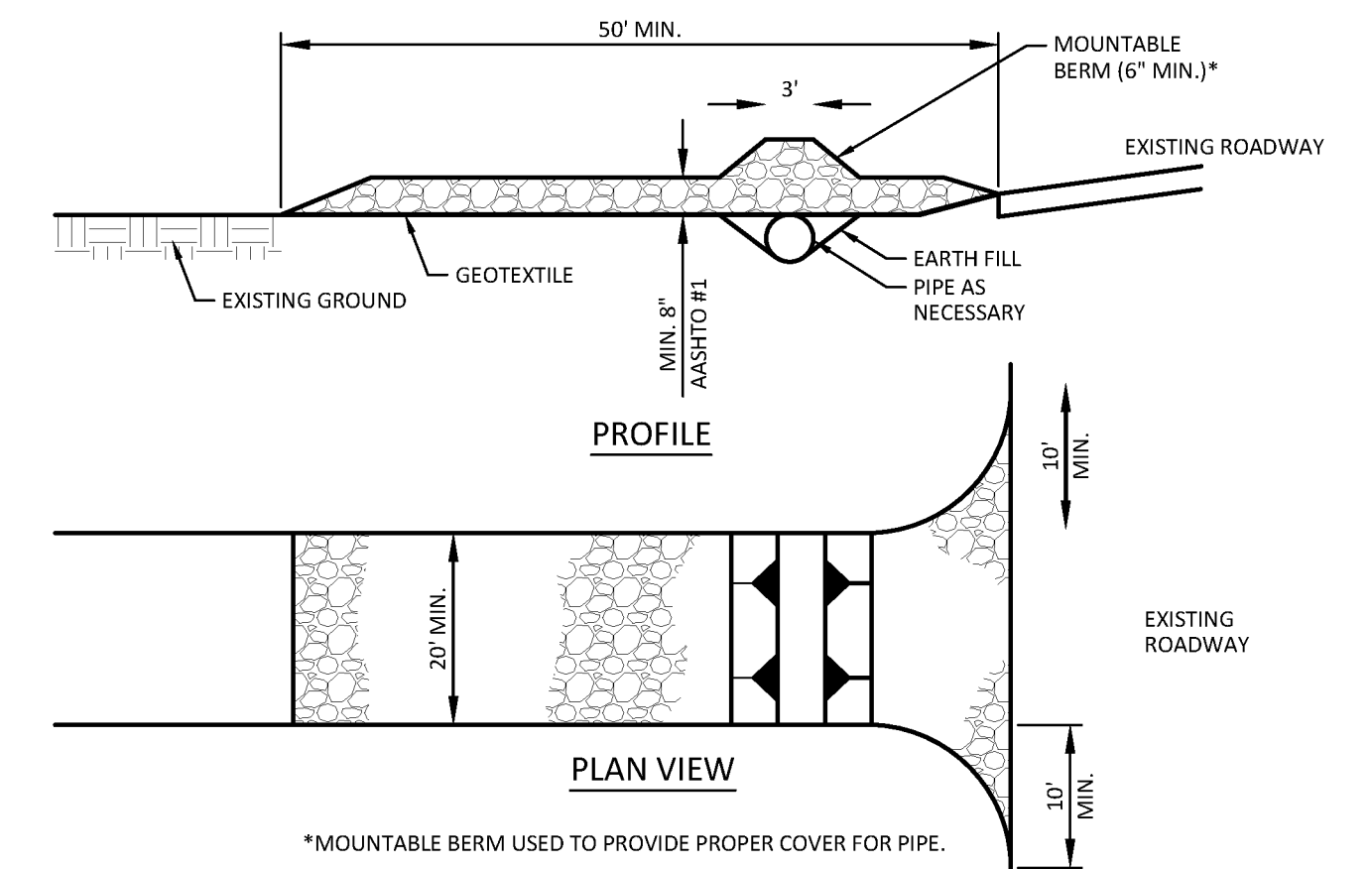
CONCRETE WASHOUT DETAIL
NO SCALE

- NOTES:**
- INSTALL ON A FLAT GRADE FOR OPTIMUM PERFORMANCE.
 - 18\"/>



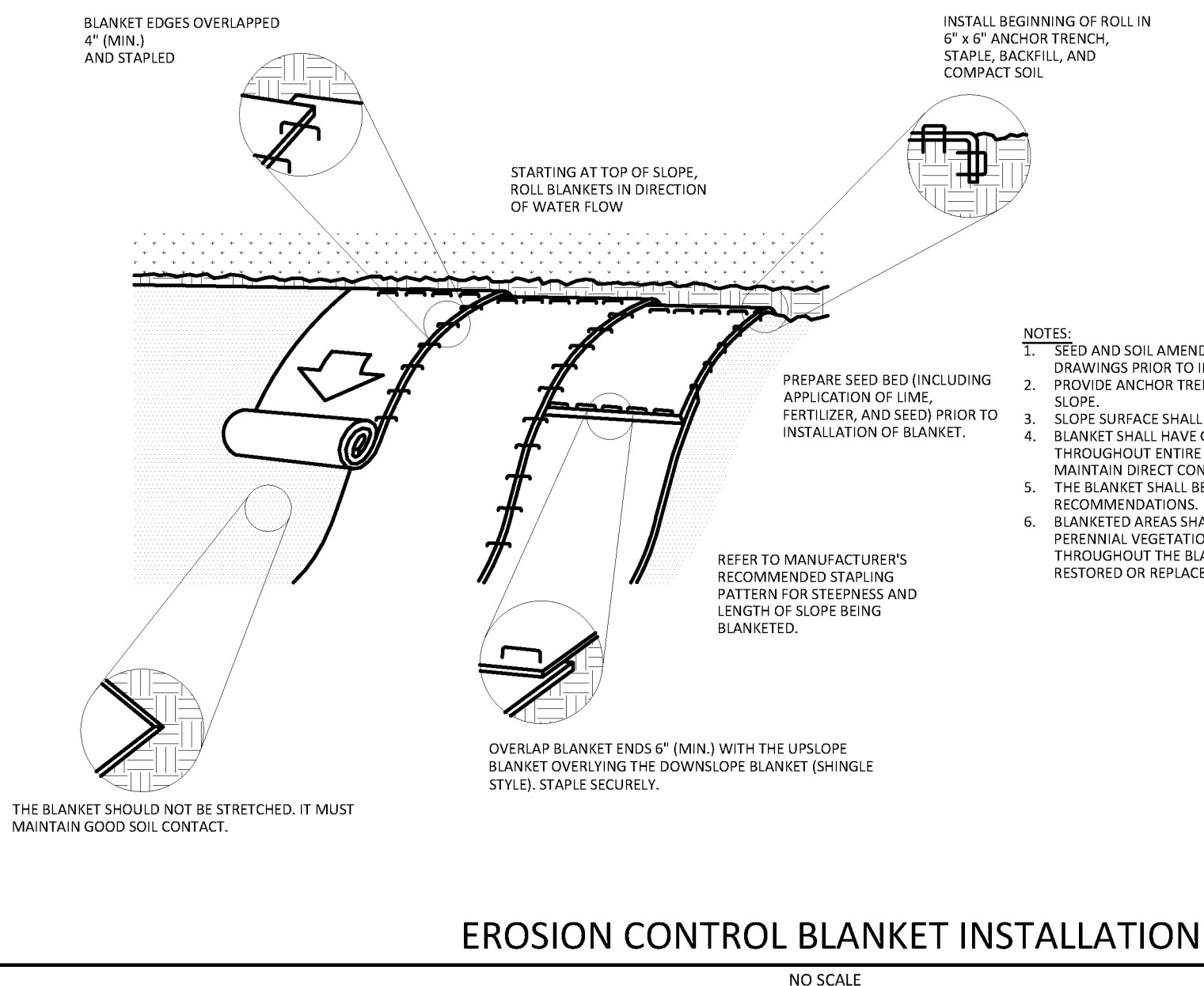
**STANDARD CONSTRUCTION DETAIL #4-6
ROCK FILTER OUTLET**
NO SCALE

- NOTES:**
- A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT FENCE OR STRAW BALE BARRIER HAS OCCURRED DUE TO CONCENTRATED FLOW. ANCHORED COMPOST LAYER SHALL BE USED ON UPSLOPE FACE IN HQ AND EV WATERSHEDS.
- SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.



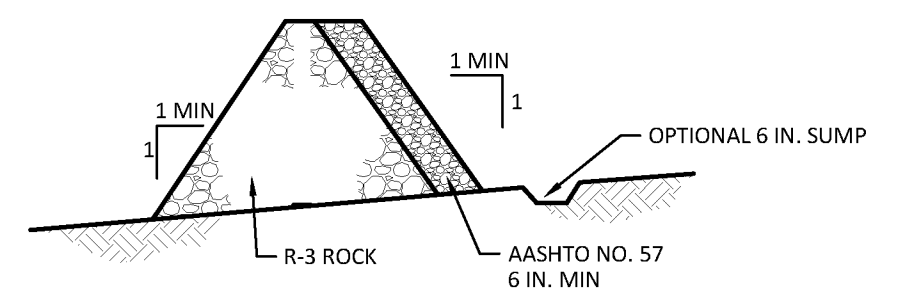
**STANDARD CONSTRUCTION DETAIL #3-1
ROCK CONSTRUCTION ENTRANCE DETAIL**
NO SCALE

- NOTES:**
- REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
 - RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
 - MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CURBPIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
- MAINTENANCE:**
- ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

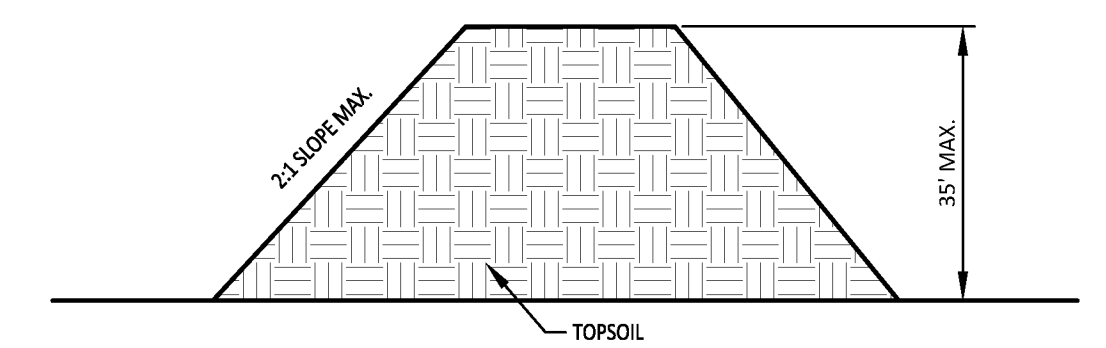


EROSION CONTROL BLANKET INSTALLATION
NO SCALE

- NOTES:**
- SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.
 - PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT THE TOP OF SLOPE.
 - SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.
 - BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.
 - THE BLANKET SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 - BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.



ROCK FILTER
NO SCALE



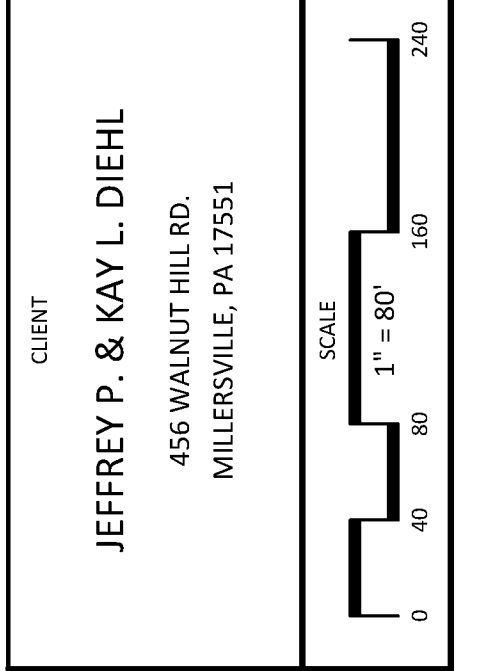
TOPSOIL STOCKPILE
NO SCALE

- NOTES:**
- STOCKPILES SHALL BE PLACED IN AREAS AS SHOWN ON THE PLANS.
 - STOCKPILES SHALL BE STABILIZED WITH A TEMPORARY COVER CROP OF ANNUAL RYE GRASS (1 LB./1000S.F.) OR WINTER RYE (3 TO 5 LB./1000 SF.).
 - ANY EXCESS TOPSOIL SHALL BE RETAINED ON SITE AND SPREAD AS ADDITIONAL LAYER OR FOR CONSTRUCTING BERMS.
 - ANY SEDIMENT CONTROL BMPS DOWN SLOPE OF THESE PILES THAT ARE UNDERMINED SHALL BE REPAIRED.
 - ANY DISPLACED SEED OR MULCH SHALL BE REPLACED.

NO.	DATE	REVISION
1	2/21/2025	PER TOWNSHIP ENGINEER COMMENTS
2	4/7/25	PER TOWNSHIP ENGINEER COMMENTS
3	4/29/25	PER PA DEP COMMENTS

MANAGER:	DAVID W. BITNER, PE
DESIGN BY:	DWB
DRAWN BY:	JDS
SURV. CHECK:	DATE
DATE:	8/12/2024
FIELDBOOK NO.:	

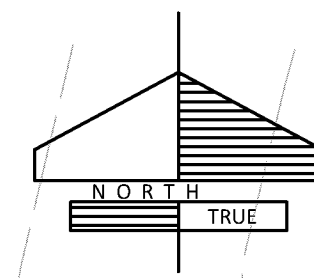
CLIENT:	JEFFREY P. & KAY L. DIEHL 456 WALNUT HILL RD. MILLERSVILLE, PA 17551
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717.368.1169 • dave@bitnerengineering.com

TITLE: FINAL MINOR SUBDIVISION AND SWM PLAN FOR DIEHL PROPERTY
EROSION AND SEDIMENT CONTROL DETAILS
LANCASTER COUNTY, PA

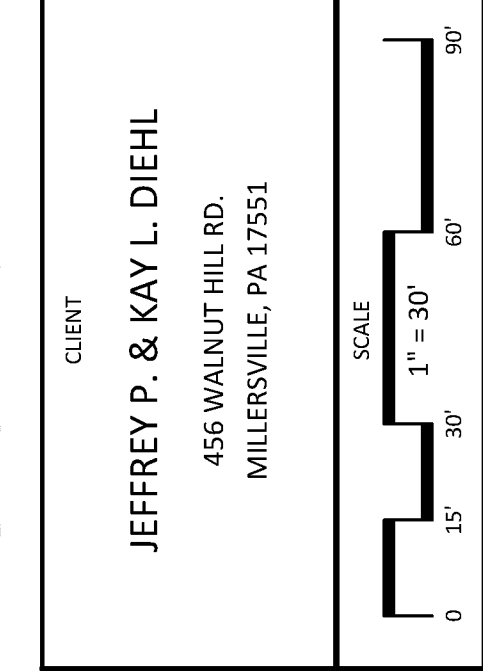
SHEET NO.	8	OF	10
JOB NO.	2024162-001		



NO.	DATE	REVISION
1	2/24/25	PER TOWNSHIP ENGINEER COMMENTS
2	4/7/25	PER TOWNSHIP ENGINEER COMMENTS
3	4/29/25	PER PA DEP COMMENTS

MANAGER:	DAVID W. BITNER, PE
DESIGN BY:	DWB
DRAWN BY:	JDS
SURV. CHIEF:	WEBER SVS
DATE:	8/12/2024
FIELDBOOK NO.:	

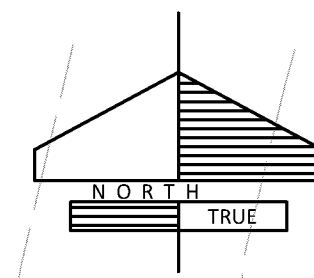
CLIENT:	JEFFREY P. & KAY L. DIEHL 456 WALNUT HILL RD. MILLERSVILLE, PA 17551
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Bitner Engineering
711 Speedwell Forge Rd - Lititz, PA 17543
717.368.1169 - dave@bitnerengineering.com

TITLE
FINAL MINOR SUBDIVISION AND SWM PLAN
FOR
DIEHL PROPERTY
PRE-DEVELOPED DRAINAGE AREA MAP
MANOR TOWNSHIP
LANCASTER COUNTY, PA

06/18/2025 7:24:47 AM C:\Users\dwbitner\OneDrive\Documents\2024162-001_SWM\DWG\2024162-001_SWM.dwg



NO.	DATE	REVISION
1	2/24/25	PER TOWNSHIP ENGINEER COMMENTS
2	4/7/25	PER TOWNSHIP ENGINEER COMMENTS
3	4/29/25	PER PA DEP COMMENTS

MANAGER:	DAVID W. BITNER, PE
DESIGN BY:	DWB
DRAWN BY:	JDS
SUPV. CHIEF:	WEBER SVS
DATE:	8/12/2024
FIELDBOOK NO.:	

CLIENT:	JEFFREY P. & KAY L. DIEHL 456 WALNUT HILL RD. MILLERSVILLE, PA 17551
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SCALE
1" = 30'

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SHEET NO. 10 OF 10
JOB NO. 2024162-001

06/18/2025 7:25:57 AM C:\Users\dwb\OneDrive\Documents\2024162-001_SWP\DWG\2024162-001_SubsPlan.dwg